

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 423 W. Main St. to replace existing double-door with single wooden door with sidelites on each side; replace side door w/ wood & glass door.



Application Date: May 22, 2023

HDBR Meeting Date: June 26, 2023

Project Description:

Certificate of Appropriateness application to replace existing double-door with single wooden door with sidelites on each side; replace side door w/ wood & glass door.

Current Zoning:

Specialty District (SD)

Project Location:

423 W. Main St.

Applicant:

Kathryn Rutherford
423 W. Main St.
Madison, IN 47250

Owner:

Same

Supporting Documents:

COA application
Photos of property
Historic photos
Photos of doors
Copy of HDBR meeting public sign
GIS map

Alterations, Historical Information, & Prior Approvals:

Date	c. 1840
Style	Federal/Colonial Revival
Evaluation	Contributing
Survey Notes	

Alterations:

Structure's front entrance has been altered several times – originally, the structure was two separate buildings with two separate entrances before those were infilled and a single entry was created (this too has been altered numerous times); eastern gallery porches were enclosed in two separate renovations c. 1960; two-story rear brick addition

Applicant Provided – (see corresponding pictures with application packet)

Up to 1949 shows the double open porches.

1949 shows distinctly two houses.

1960 is when Mrs. Lytle added her office on the back of the open porch. Note: she had to go outside to cross the porch to her office. The door she used is the bricked-up door/wall in my studio that will become a bookcase.

1968 is how the building looked when Mr. Lytle died and Mrs. Lytle bought the commercial/West side and converted everything into the funeral home.

NOTE: The door on the commercial side keeps changing from the center to the left of center. I guess it depended upon what commercial venture occupied that half and where they wanted their door. Either way, that door kept moving and changing position.

Historical Information/Misc. Important Information:

The state DHPA reviewed the proposed changes in 2022 during the course of an application for the HRGP and issued a COA for the work; originally, the applicant was going to do a replace in-kind of the front doors but later amended the work to be a single door with two sidelites; historically, the front entrance has been altered multiple times to be either single or double

Prior COA Approvals:

N/A

Guidelines, Standards, & Ordinances
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HDBR Guidelines:

Madison Historic District Design Guidelines – 9.0 Doors & Entrances p. 59-61

9.5 If historic doors are missing or are deteriorated/damaged beyond repair, install replacement doors that match the originals. Select replacement doors carefully to match the original doors in materials, dimensions, and panel configuration. Appropriate materials may include wood or fiberglass. The new doors should be in keeping with the style and period of the building. Use historic photographs to identify details about original doors if possible.

Conformance with Guidelines, Ordinance & Standards:

The project *is in* conformance with the Guideline because the original historic doors are missing and the former replacement doors were deteriorated and not repairable; *is in* conformance with the Guideline because the replacement door is architecturally compatible with the style of the home; *is in* conformance with the ordinance §151.31 because the proposed replacement doors will not alter the historic character of the structure nor the proportion of openings.

Ordinance:

§151.31 Preservation of Historic Buildings

(C) Proportion of openings within the facility. The relationship of the width of the windows to height of windows in a building shall be visually compatible with buildings, squares, and places to which the building is visually related.

Secretary of the Interior Standards:

Rehabilitation

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Preservation Brief:

N/A

Think GIS Map





HDCA-23-58

Certificate of
Appropriateness (COA)
Application

Status: Active

Submitted On: 5/22/2023

Primary Location

423 West Main Street
Madison, IN 47250

Owner

Gregory and Kathryn
Rutherford
W. Main Street 423 Madison ,
IN 47250

Applicant

Kathryn Rutherford

812-292-9499

artist@heirloomartstudio.com

423 W. Main St.
Madison, IN 47250

General Information

Are you the owner?*

Yes

Zoning Classification

Legal Description of Property

423 W. Main Str., Madison, Indiana, 47250

Will you be working with a Contractor?

Yes

Description of Existing Use

Former Funeral Home....under final renovations to be an Art Gallery, Studios,
Classroom downstairs, and Private Residence upstairs.

Description of Proposed Use

See above

Contractor Information

Company Name

Welch Millwork & Design

Contractor Name

Roger Welch

License Number

Expiration Date

—

Phone

812-273-6188

Email

welchmillwork@yahoo.com

Mailing Address

124 W Fifth St

City

Madison

State

IN


Zip Code

47250

Type of Project

Select which applies to your project.*

Restoration, Rehabilitation, or
Remodel

Define Other 

Description(s) of Work

Scope of Work*

Part A: Double front entryway doors and small side lights to be removed as they are ill fitting, let in rain, cold, and heat, and have rotted threshold and wood frame. Double doors are warped and do not have adequate locking mechanisms for security. Single, handicapped accessible, door and wide side light panels will replace the entire entryway. Items will be made out of mahogany, in a style befitting an historic Federal building with appropriate black hinges, door handles, and locks.

Part B: The Courtyard door can be saved but will be refitted properly to lock out rain, cold, and heat, and include new threshold and weatherstripping as well as new door handle and locks.

Part C: The Elm Street door cannot be saved. It will be replaced with a special order appropriate door for the building and installed properly with new threshold and weatherstripping as well as door handle and locks.

Part D: An upstairs door is actually a cheap interior luan door that is caulked shut and is non-functional. It will be removed and a new door will be purchased and installed that will allow exit from the building. Proper installation with a new sill, threshold, locks, handle and weatherstripping will obviously be part of this project.

Building Elements

Architectural Details

Awnings & Canopies

Chimneys

Deck

Demolition

Doors & Entrances

Existing Material*

substandard warped doors

Proposed Material*

mahogany and insulated glass

Fences and Walls

Fire Escapes & Staircases

Foundations

Gutters & Downspouts

Historic Garages & Outbuildings

Lighting

New Construction/Addition

Pools, Fountains, Gazebos and Pergolas

Porch Columns & Railings

Porches

Ramps and Lifts

Roofs

Shutters

Siding

Signage

Storefronts

Storm Doors and Storm Windows

Utilities

Windows


Other

Acknowledgement

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.
- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

Digital Signature*

 Kathryn Rutherford
May 22, 2023

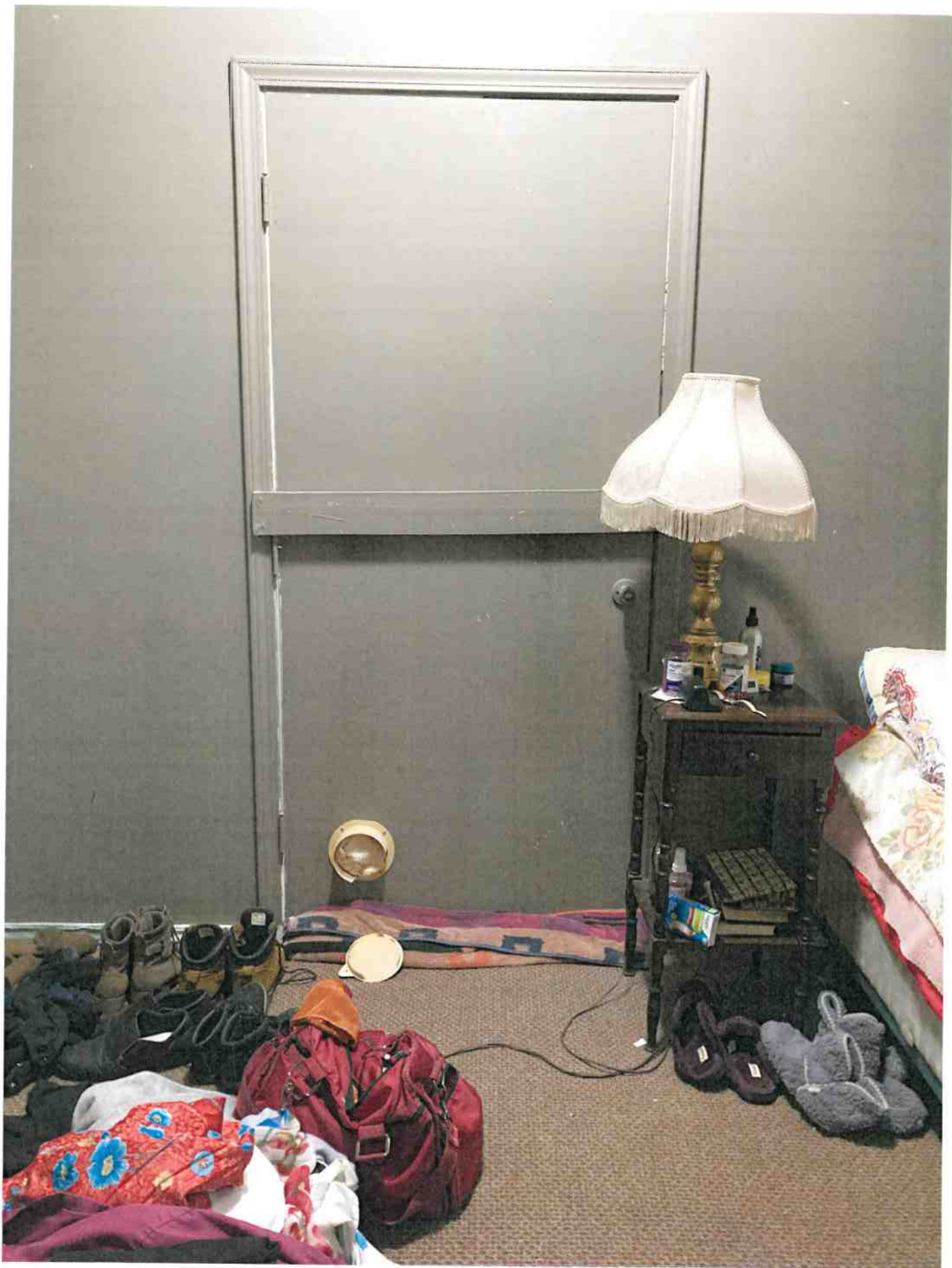
Attachments

- Photographs** REQUIRED
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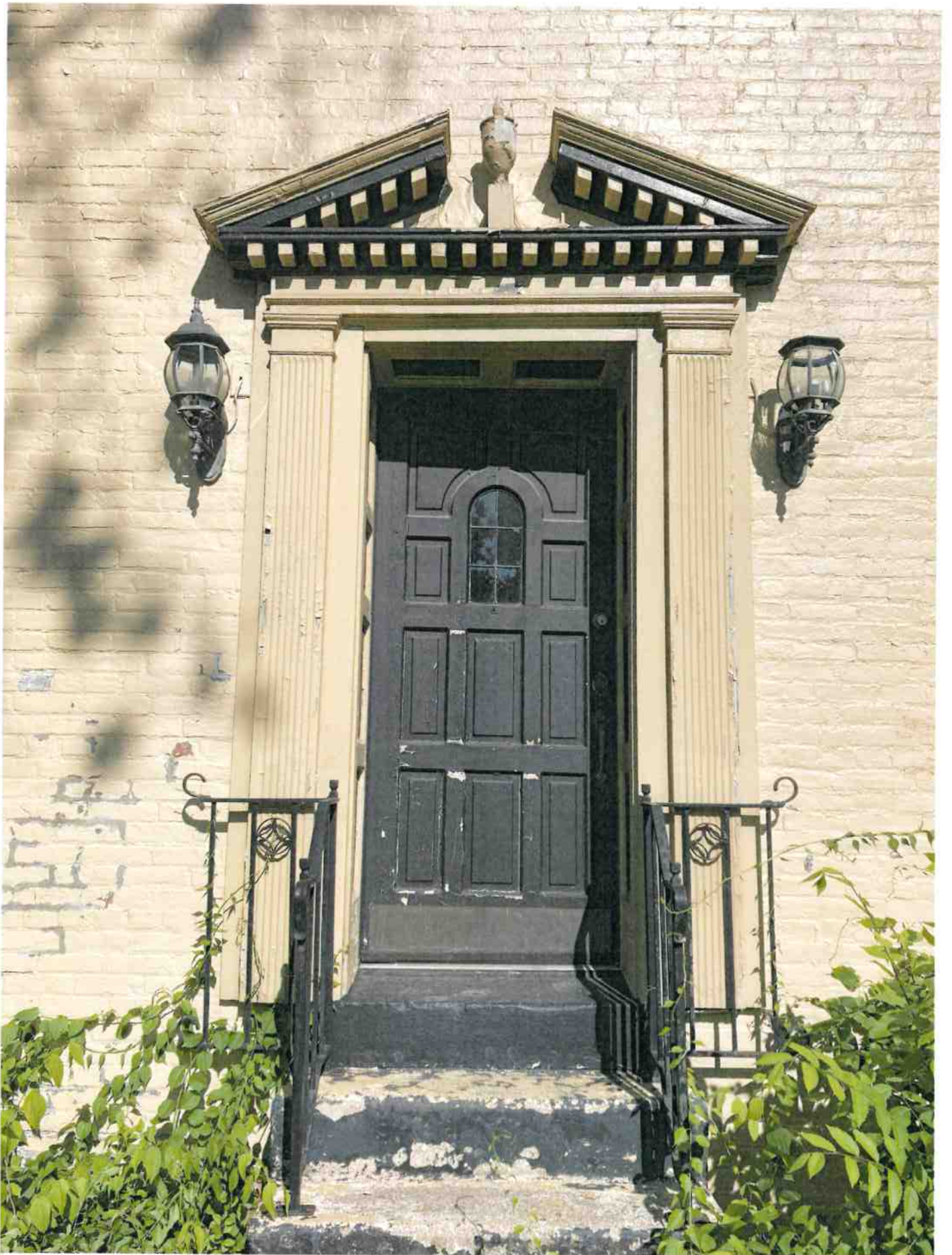
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The Rutherford's

DELIV



HISTORIC RESOURCE INVENTORY FORM

Resource Address: 423 W Main St Madison Indiana 47250 USA
County: Jefferson
Historic name:
Present name: Lytle-Welty Funeral Home
Local place name:
Visible from public right of way: Yes
Ownership: Private
Owner/Address:
Land unit size:
Site/Setting: Street trees.



Lat/Long: 38.7368447609938040, -85.3845126754631000 [WGS84]

UTM: Zone 16S, 640408.6492 mE, 4288813.4374 mN

Parcel No. GIS/Ref/ID: 27035

Historical Information

Historic Function: Commerce/Trade: Specialty Store	Current Function: Funerary: Mortuary
Construction Date: ca. 1840-1849 , circa 1840*	Architect:
Original or Significant Owners:	Builder:
Significant Date/Period:	Developer:
Areas of Significance: Architecture Community Planning and Development	

Architectural Information

Category: building, Funeral Home/Mortuary	Style: Federal and Colonial Revival	<input checked="" type="checkbox"/> Additions (1960s) <input type="checkbox"/> Alterations <input type="checkbox"/> Moved <input type="checkbox"/> Other Ancillary structures:
Structural: masonry	Exterior Material(s): historic brick	
Stories: 2, Bays:	Roof Material:	
Form or Plan: , irregular	Roof Type: Side Gable	
Foundation: dressed stone	Windows: historic wood 6/6 double-hung sashes	
General condition: Good	Chimney(s): two brick side right	
Basement:	Porch:	

Historical Summary:

This is two buildings combined into one.

Status (Current Listing or Designation)

National: indiv. district landmrk.

State/Province: indiv. district landmrk.

Local: indiv. district landmrk.

2006, Madison National Historic Landmark District

1982, Madison Local Historic District

Evaluation (Preparer's Assessment of Eligibility)

Recommendation

- Individually eligible
 Eligible as contributing resource
 Not eligible / non-contributing
 Not determined

Eligibility: Applicable NHL Criteria: 1, 4

Level of potential eligibility

- National
 State
 Local

Landmark potential

- National
 State
 Local



Description/Remarks

This is a 2-story funeral home/mortuary in the Federal style with Colonial Revival influences built in 1840. The building is irregular in plan. The structural system is masonry. The foundation is dressed stone. Exterior walls are historic brick. The building has a side gable roof. Medium high pitched side gable. There are two side right, brick chimneys. Double chimney with raised parapet between. Windows are historic wood, 6/6 double-hung sashes. Various sizes with dressed stone lintels and sills. Recessed wood and glass paired doors in Colonial Revival surround. There is a two-story, rear, brick addition. Modern full story pilasters and projecting cornice, as well as door surround with broken pediment, c. 1960 additions.

Survey and Recorder

Project: Search for '423 w main' in Madison, Indiana (2 results)	Sequence/Key no.:	Survey Date: October 2021
Prepared By: Douglas Kaarre, The Lakota Group/Douglas Gilbert Architect	Report Title/Name: Madison Local Historic District Update	Previous Surveys: Madison Reconnaissance Survey (2002-2004) ID #27035, surveyed Jul 24, 2002, Site Number 3-0281
Inventoried: 09/20/2021 11:43:22 am Last updated: 07/28/2022 7:53:29 pm by /	Level of Survey: <input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive	Additional Research Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No

JEFFERSON COUNTY PUBLIC LIBRARY

2015 Flood Map

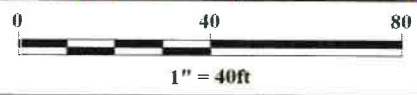
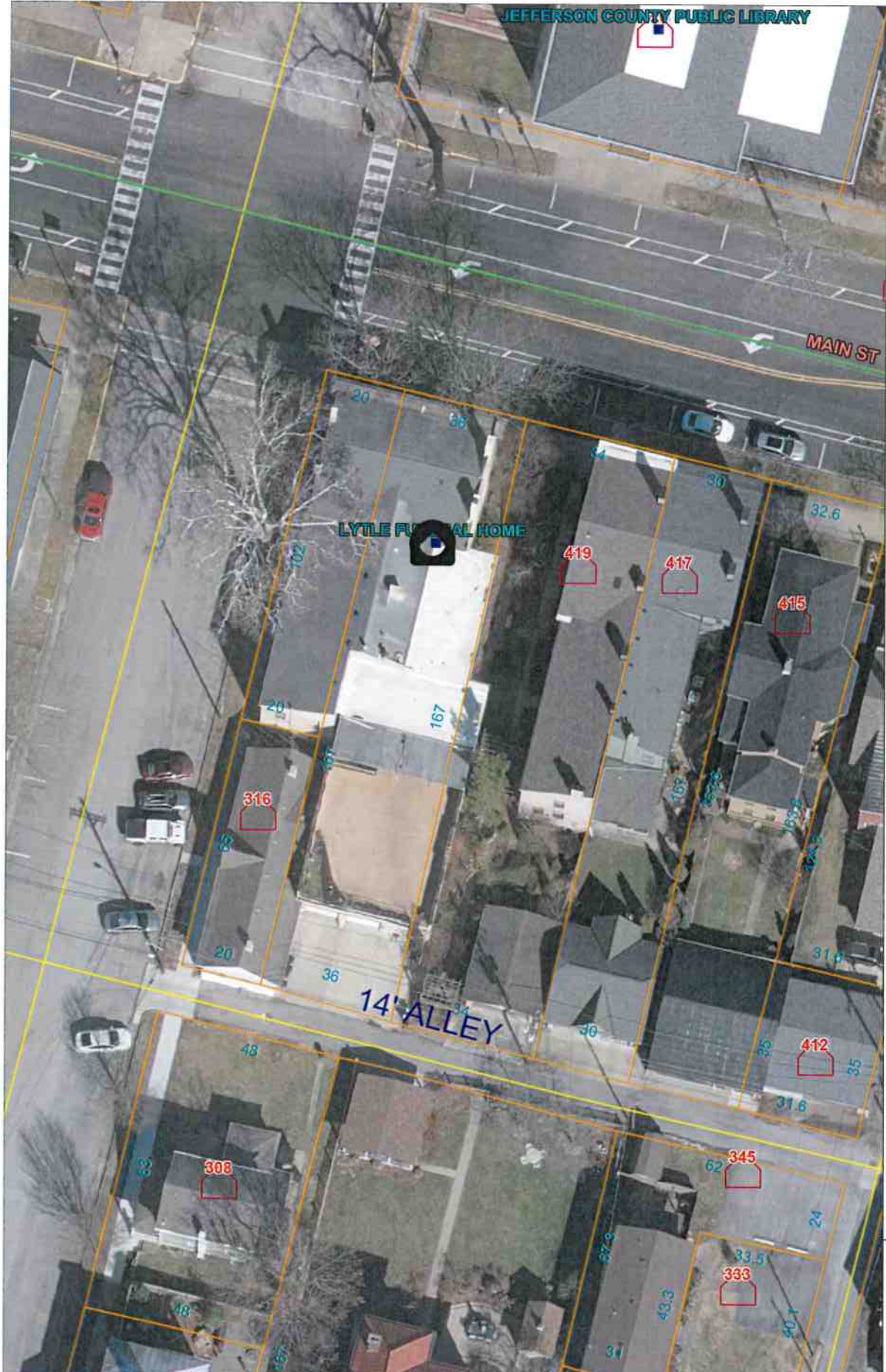
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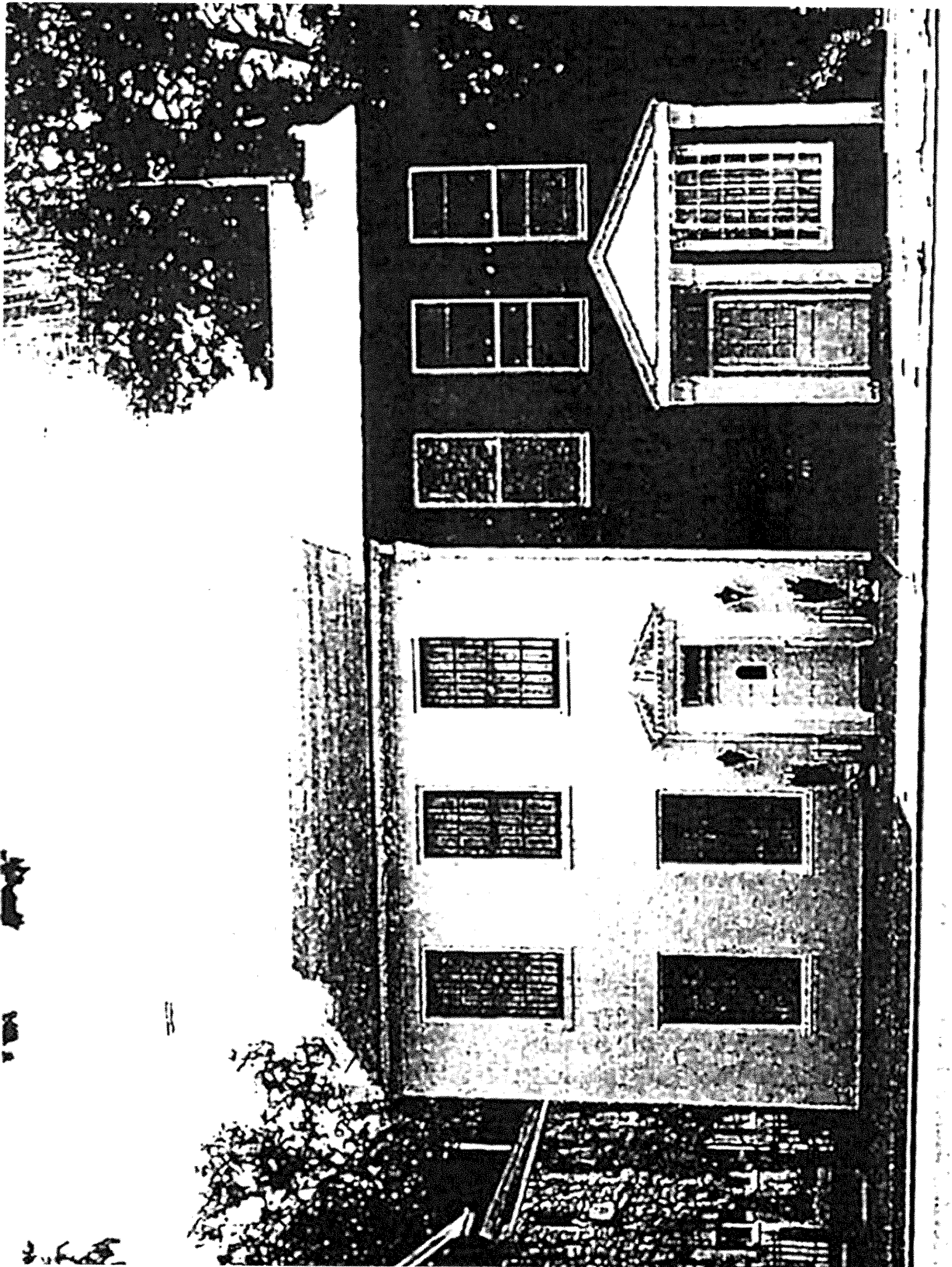
- Regional Counties
- County Boundary
- Townships
- Water
- Parcels
- Corporate Boundary
- Sewer Structures

- Addresses
- Common Addresses

- Regional County
- Regional Roads
- Regional Highway
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails











Division of Historic Preservation & Archaeology 402 W. Washington Street, W274 Indianapolis, IN 46204-2739
Phone 317-232-1646 Fax 317-232-0693 dhpa@dnr.IN.gov



August 16, 2022

Andrea Kern
Indiana Office of Community and Rural Affairs
1 North Capitol, Suite 600
Indianapolis, Indiana 46204

State Agency: Indiana Office of Community and Rural Affairs

Re: Information for the restoration of 423 West Main Street using Historic Renovation Grant Program funds from the Indiana Office of Community and Rural Affairs (DHPA #29618)

Dear Ms. Kern:

Pursuant to Indiana Code 14-21-1, 312 IAC 20-4, and Indiana Code 4-4-37, the Indiana Department of Natural Resources, Division of Historic Preservation and Archaeology ("DHPA") has conducted a review of the materials dated July 15, 2022 and received by the DHPA on August 1, 2022, for the above indicated project in Madison, Jefferson County, Indiana.

Thank you for your submission for the above indicated project. The building at 423 West Main Street is a contributing resource within the Madison Historic District, which was listed on the National Register of Historic Places on May 25, 1973 and as a National Historic Landmark district on March 20, 2006.

The scope of work in the Certificate of Approval application includes the following:

- roof replacement in kind
- repair/replace missing and damaged gutters and downspouts
- repair and repaint historic windows, add storm windows
- repair wood trim including pilasters, door frames and pediments
- masonry repair/tuck-pointing and painting
- replace non-historic doors (Main Street), repair doors on Elm Street and courtyard
- repair/replacement of overhead garage doors
- remove existing fluorescent lights at eaves/roofline that do not work and reinstall dentil molding to match historic condition
- install door in second-floor opening that is currently infilled with plywood, install exterior stair to make opening functional

The following items were also included in the application, but are not eligible expenses under the HRGP grant and therefore were not reviewed in detail:

- updated landscaping in courtyard gardens, repair of fountain
- installation of period appropriate fence at courtyard
- repair/upgrade of underground lighting in courtyard and Elm Street
- update landscaping along Elm Street
- repair of wrought iron fence and concrete pedestal

Based on what we currently know, there will be no adverse impact on any known historic site or historic structure. Therefore, under Subsection 11(d) of 312 IAC 20-4, a certificate of approval will not be necessary from the Indiana Historic Preservation

Review Board for this project.

This determination is subject to the following conditions:

- 1) This review does not extend to any of the activities listed above as ineligible under HRGP. It is our understanding that the work included in the HRGP application does not involve any ground disturbance. Should there be any changes to the scope of work to include ground disturbing activities then updated information outlining the location and extent of the disturbance must be provided for review prior to the start of any ground disturbance.
- 2) Doors – The replacement doors on the Main Street façade and at the second-floor opening must be historically appropriate and fill the entire historic opening. Once the doors have been selected, they must be submitted for review and approval.
- 3) Storm Windows – The new storm windows must be designed so that the meeting rails line up with the meeting rails on the historic windows.
- 4) Exterior Stair – If a new exterior stair is to be constructed at the second-floor door once it is reopened then the stair must be designed to minimize visual and physical impacts to the historic structure. Details on the design must be provided for review and approval should this work be completed as part of this project.

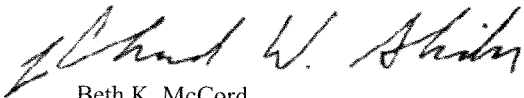
Pursuant to 312 IAC 20-4-11(g), within fifteen (15) days after this determination, an interested person may request a member of the review board to provide public hearing and review under 312 IAC 2-3. The designated member shall issue a determination whether an application for a certificate of approval must be filed. If the designated member determines an application must be filed, the division shall place the completed application on the agenda of the review board's next meeting. If the designated member determines that an application for a certificate is not required, the division director's letter of clearance is affirmed. A determination under this subsection is not effective until the later of the following:

- (1) fifteen (15) days after issuance of the determination; or
- (2) the day resulting from a notice given under 312 IAC 2-3-7(d).

If any archaeological artifacts, features, or human remains are uncovered during construction, state law (Indiana Code 14-21-1-27 & 29) requires that the discovery must be reported to the Department of Natural Resources within two (2) business days. In that event, please call (317) 232-1646.

If you have any further questions regarding this determination, please contact the DHPA. Questions regarding our above comments should be directed to Ashley Thomas at (317) 234-7034 or asthomas@dnr.IN.gov. Additionally, in all future correspondence regarding the above indicated project, please refer to DHPA #29618.

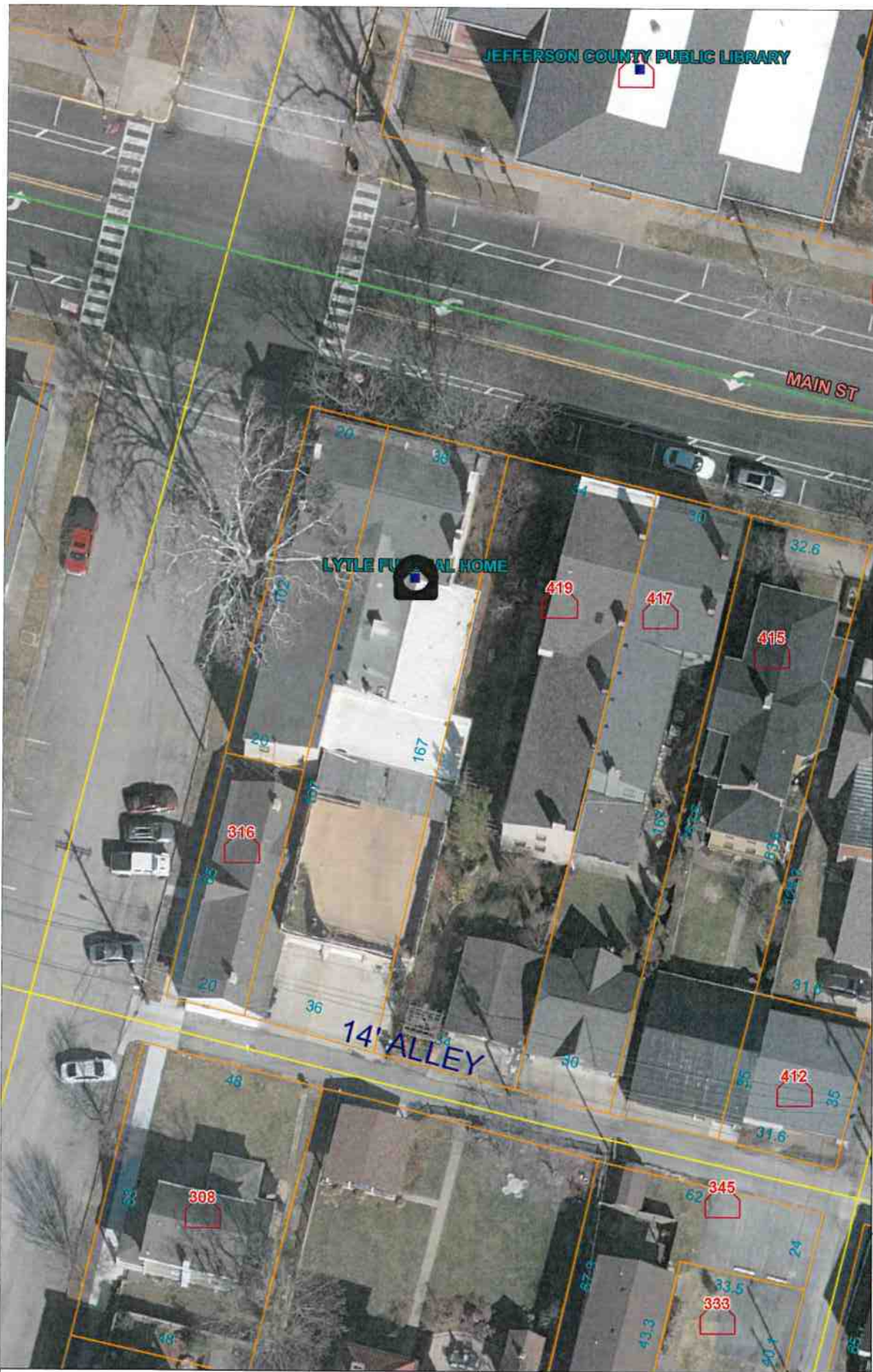
Very truly yours,



Beth K. McCord
Director, Division of Historic Preservation & Archaeology

BKM:ADT:adt

emc: Kathryn Rutherford
Andrea Kern, Indiana Office of Community and Rural Affairs
Erica Cline, Jefferson County Historian
John Nyberg, Jefferson County Historical Society Museum
Greg Sekula, Indiana Landmarks
J. Scott Keller, Indiana Historic Preservation Review Board
Daniel Kloc, AIA, Indiana Historic Preservation Review Board
Jason Larrison, AIA, Indiana Historic Preservation Review Board
Chandler Lighty, Indiana Historic Preservation Review Board
Anne Shaw, Indiana Historic Preservation Review Board
April Sievert, Ph.D., Indiana Historic Preservation Review Board
Beth K. McCord, DNR-DHPA, Indiana Historic Preservation Review Board
Ryan Mueller, Deputy Director, DNR, and Chairman, Indiana Historic Preservation Review Board



2015 Flood Map

FLD_ZONE:

AE

- Regional Counties
- County Boundary
- Townships
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MADISON HISTORIC DISTRICT BOARD OF REVIEW

Request for Certificate of Appropriateness



Application has been made by: (name) Kathryn Rutherford

Property Address: (address) 423 W. Main St.

Proposed Action to: (explain) replace front double-door with single wooden door with sidelites on each side; replace side door w/ wood & glass door

Meeting will be held on: (date) 6/26/2023

POSTING DEADLINE

Place of Meeting: **City Hall** — 101 W. Main Street, Madison, IN 47250

6/11/2023

Time of Meeting: **5:30 PM**

All interested persons are welcome to attend this hearing to voice their objections or support for the application.

For further information, Contact the Office of Historic Preservation (812) 274-0253 or Plan Commission (812) 265-8324