

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 912 W. First St. to complete rehabilitation which will include shingle roof, box gutters, sun brand windows, LP smart siding. We will not be changing the current structure or footprint of the home.



Application Date: May 24, 2023
HDBR Meeting Date: June 26, 2023

Project Description:

Certificate of Appropriateness application to complete rehabilitation which will include shingle roof, box gutters, sun brand windows, LP smart siding. We will not be changing the current structure or footprint of the home.

Current Zoning:

Historic District Residential (HDR)

Project Location:

912 W. Second St.

Applicant:

Van Crafton
3895 W. State Rd. 56
Hanover, IN 47043

Owner:

Same/Crafty83, LLC

Supporting Documents:

COA application
Photo of property
Photo of proposed windows
Copy of HDBR meeting public sign
GIS map

Alterations, Historical Information, & Prior Approvals:

Date	c. 1860
Style	Duplex
Evaluation	Contributing
Survey Notes	

Alterations:

Replacement aluminum siding; decorative chimney pot removed; replacement 1/1 windows w/ wood surrounds; metal awnings; replacement door

Historical Information/Misc. Important Information:

Applicants do not believe they will need to reconstruct exterior walls, but it may be a possibility. They stated if they do have to reconstruct any exterior walls, they will not change the footprint or configuration.

Prior COA Approvals:

****Staff COA Approvals –**

Staff issued COA for siding, gutters, windows, shutters, fence, awnings

Guidelines, Standards, & Ordinances
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HDBR Guidelines:

****Staff has approved all requests in this application. However, if the applicants need to rebuild the wall included in the application, the HDBR will need to review this portion of the application.**

Madison Historic District Design Guidelines – 3.0 Materials, Wood Siding & Shingles p. 44-48

3.8 The use of vinyl or aluminum siding or trim is not appropriate. The HDBR may allow the replacement of existing synthetic siding with new substitute siding if the proposed replacement will be in keeping with the original appearance of the structure. If the removal of synthetic siding reveals historic siding intact beneath, the historic siding shall be preserved and retained.

3.9 The use of fiber cement (cementitious) siding may be approved for replacement of deteriorated wood siding, new structures, non-historic structures and additions to historic structures not visible from the public view.

Conformance with Guidelines, Ordinance & Standards:

The project *is in* conformance with Guideline 3.8 because the existing siding is aluminum and not appropriate for a historic structure, the cementitious siding is more appropriate, and if wood siding is uncovered and is salvageable, it remains intact and in place and not covered by the proposed new siding; *is in* conformance with Guideline 3.9 because cementitious siding is more appropriate than aluminum; *is in* conformance with Guidelines 9.1-9.2 & 9.5 because the existing doors are not historic and the proposed new doors are architecturally compatible with the structure; *is in* conformance with Guideline 18.7 because the existing windows are non-historic replacements and are in deteriorated condition; *is in* conformance with the Ordinance because the proposed materials will be visually compatible; and *is in* conformance with SOI for Rehabilitation because the proposed project will not destroy historic materials, features, or spatial relationships.

Ordinance:

151.34 Visual Compatibility Factors

(G) Relationship of materials, and texture. The relationship of materials, and texture of the facade of a building shall be visually compatible with the predominant materials used in the buildings to which it is visually related.

Secretary of the Interior Standards:

Standards for Rehabilitation

10. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Preservation Brief:

N/A

Think GIS Map





HDCA-23-59

Certificate of
Appropriateness (COA)
Application
Status: Active
Submitted On: 5/24/2023

Primary Location

912 West 1st Street
Madison, IN 47250

Owner

BuddyDale, LLC and Crafty83,
LLC
Broadway St 304 Madison, IN
47250

Applicant

Van Crafton
 812-801-1480
 jvcrafton@yahoo.com
 304 Broadway St
Madison, IN 47250

General Information

Are you the owner?*

Yes

Zoning Classification

Legal Description of Property

	011-04485-00 Pt S 1/2 Lot 11 Hendricks & Grovers Add W 1731.73 sq ft 11-144-61 912 W First St
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Will you be working with a Contractor?

Yes

Description of Existing Use

vacant

Description of Proposed Use

SF Residential home

Contractor Information

Company Name

Contractor Name

License Number

Expiration Date

—

Phone

Email

Mailing Address

City

State

Zip Code

Type of Project

Select which applies to your project.*

Define Other 

Restoration, Rehabilitation, or
Remodel

Description(s) of Work

Scope of Work*

Complete rehabilitation which will include shingle roof, box gutters, sun brand windows, LP smart siding. We will not be changing the current structure or footprint of the home.

Building Elements

Architectural Details

Existing Material*

canvas

Chimneys

Demolition

Fences and Walls

Proposed Material*

wood

Foundations

Existing Material*

aluminum

Historic Garages & Outbuildings

Awnings & Canopies

Proposed Material*

wood

Deck

Doors & Entrances

Existing Material*

none

Fire Escapes & Staircases

Gutters & Downspouts

Proposed Material*

aluminum

Lighting

New Construction/Addition

Pools, Fountains, Gazebos and Pergolas

Porch Columns & Railings

Porches

Ramps and Lifts

Roofs

Existing Material*

shingle

Proposed Material*

shingle

Shutters

Existing Material*

wood composite

Proposed Material*

wood/wood composite

Siding

Existing Material*

vinyl

Proposed Material*

lp smart

Signage

Storefronts

Storm Doors and Storm Windows

Utilities

Existing Material*

electric/plumbing

Proposed Material*

new electric/plumbing

Windows



Existing Material*

vinyl

Proposed Material*

sun brand windows

Other



Fence Information

Fence Height*

6

Fence Length*

30

Please List Fence Materials*

wood fence

Gate(s) and Gate Material(s) 🌐

wood

Fence Installation:

On a plinth



With posts in concrete



In-ground



Other



Fence Installation*

In-ground

Acknowledgement

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.
- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

Digital Signature*

Van Crafton
 May 24, 2023

Attachments

Photographs REQUIRED
 pc3-912 and 914 4.jpg
 3_10-17-31.jpg?sv=2021-10-04&st=2023-06
 Uploaded by Van Crafton on May 24, 2023 at 10:17 AM

VCQ2jMfID1Daiq3%2F%2BM28uEJm4sh%2F8DKb0s%3D)

Additional Supporting Documents
 lows.net/view.pdf
 3_15-05-12.pdf?sv=2017-11-11
 Uploaded by Van Crafton on Jun 1, 2023 at 3:05 PM
 \19Z&se=2023-06-
 3KRCbGGfBOAhj9jqtXC5I6e%2FOsgtVETbE%3D)
912 and 914 2.jpeg

vpc3- 912 and 914 2.jpeg
_15-06-20.jpeg?sv=2021-10-04&st=2023-06-01
Uploaded by Van-Crafter on Jun 1, 2023 at 3:06 PM

912 and 914 jpeg
EHObtWwSUukpCUlyAitJ%2BfQ5ZG11FcmdJsRhHo%3D)
Et/vpc3- 912 and 914.jpeg
}_15-06-27.jpeg?sv=2021-10-04&st=2023-06-01
Uploaded by Van-Crafter on Jun 1, 2023 at 3:06 PM

igEKQsdAbljvVLdIvbWXBejX0gF1ga%2FKxXL75w%3D)

HISTORIC RESOURCE INVENTORY FORM

Resource Address: 912-914 W 1st St Madison Indiana 47250 USA
County: Jefferson
Historic name:
Present name:
Local place name:
Visible from public right of way: Yes
Ownership: Private
Owner/Address:
Land unit size:
Site/Setting: Flat grade and linear concrete path to rear entry. There is an alley on the west side.



913 on right, 914 on left

Lat/Long: 38.7368055794219500, -85.3917387607479000 [WGS84]

UTM: Zone 16S, 639780.6406 mE, 4288798.0296 mN

Parcel No.

Historical Information

Historic Function: Domestic: Duplex/Double	Current Function: Vacant/Not in Use
Construction Date: ca. 1860-1869 , circa 1860*	Architect:
Original or Significant Owners:	Builder:
Significant Date/Period:	Developer:
Areas of Significance: Architecture Community Planning and Development	

Architectural Information

Category: building, Duplex	Style:	<input type="checkbox"/> Additions <input type="checkbox"/> Alterations <input type="checkbox"/> Moved <input type="checkbox"/> Other Ancillary structures:
Structural:	Exterior Material(s): aluminum siding	
Stories: 2, Bays:	Roof Material: asphalt shingles	
Form or Plan: Duplex, rectangular	Roof Type: Front gable	
Foundation: parged	Windows: wood 1/1 double-hung sashes	
General condition: Fair	Chimney(s): one brick center straddle ridge	
Basement:	Porch:	

Historical Summary:

Status (Current Listing or Designation)

National: indiv. district landmrk.

State/Province: indiv. district landmrk.

Local: indiv. district landmrk.

2006, Madison National Historic Landmark District

1982, Madison Local Historic District

Evaluation (Preparer's Assessment of Eligibility)

Recommendation

- Individually eligible
 Eligible as contributing resource
 Not eligible / non-contributing
 Not determined

Eligibility: Applicable NHL Criteria: 1, 4

Level of potential eligibility

- National
 State
 Local

Landmark potential

- National
 State
 Local

Description/Remarks

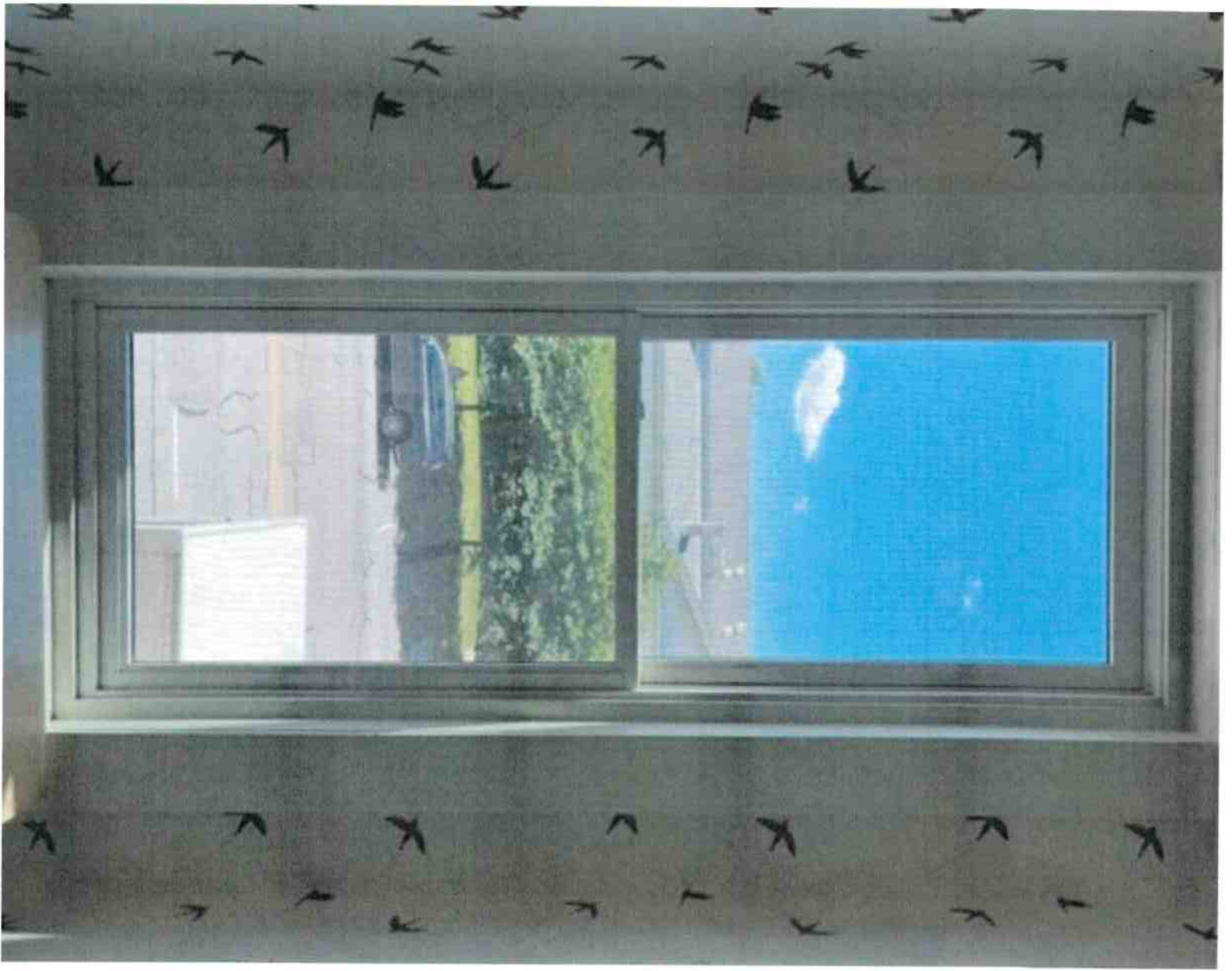
This is a 2-story duplex built in 1860. The building is rectangular in plan. The foundation is parged. Exterior walls are aluminum siding. The building has a front gable roof clad in asphalt shingles. Gabled with very little overhang. There are two chimneys, one used to have a decorative chimney pot. The rear addition of 914 has a shed roof. There is one center, straddle ridge, brick chimney. Windows are wood, 1/1 double-hung sashes. Replacement 1/1 windows with wood surrounds. The windows at 912 have one metal awning at the first floor; the windows at 914 have shutters and one metal awning at the first floor. Concrete steps to each door. Doors have been replaced and 912 has a metal awning.

Survey and Recorder

Project: Search for '912 w 1' in Madison, Indiana (13 results)	Sequence/Key no.:	Survey Date: December 2021
Prepared By: Peggy Veregin, The Lakota Group/Douglas Gilbert Architect	Report Title/Name: Madison Local Historic District Update	Previous Surveys: Madison Reconnaissance Survey (2002-2004), surveyed Oct 17, 2002, Site Number 2-426a
Inventoried: 09/20/2021 11:43:07 am Last updated: 07/05/2022 7:25:33 pm by /	Level of Survey: <input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive	Additional Research Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No







912 W 1st

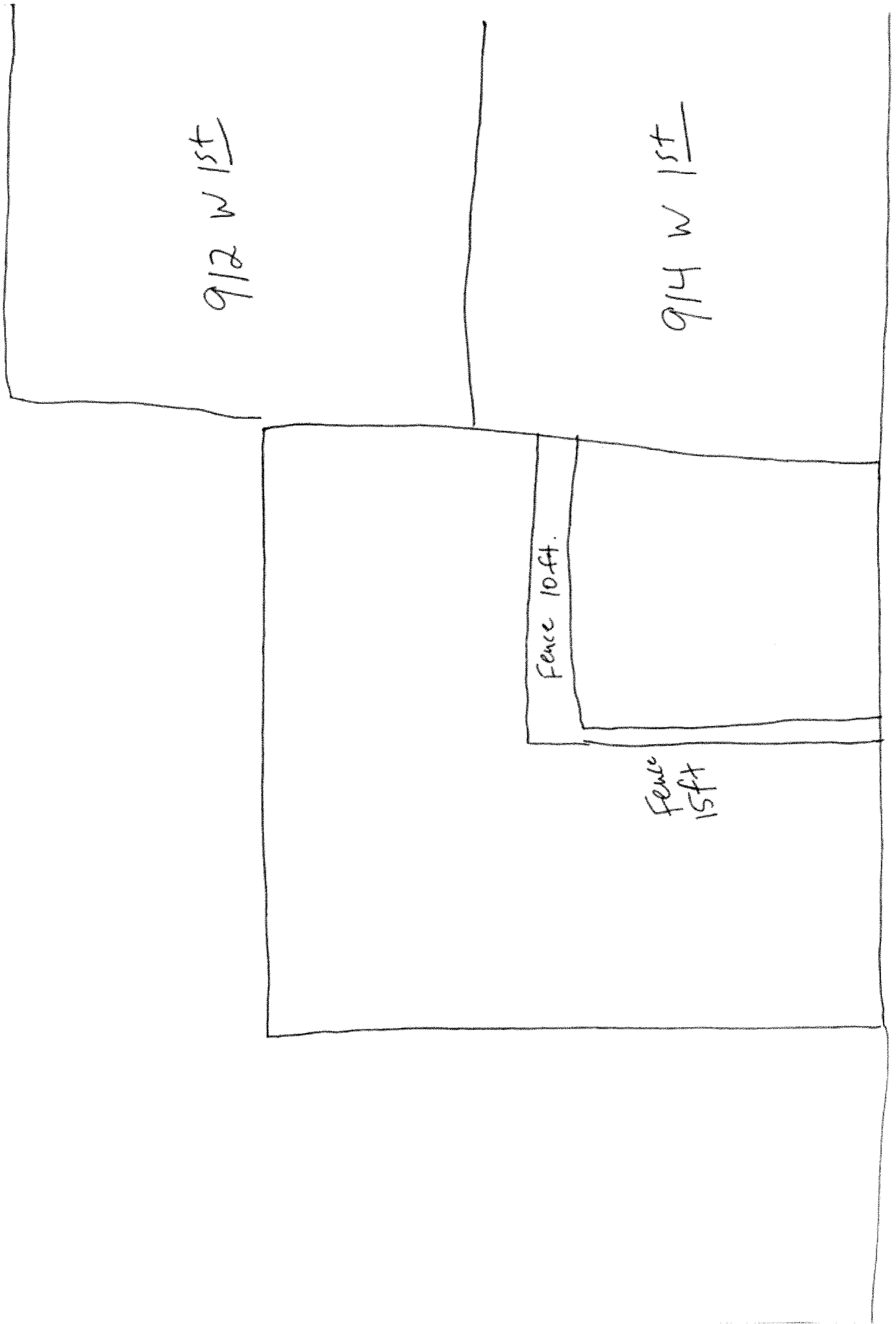
914 W 1st

Fence 10ft.

Fence 15ft

Alley

←N







MADISON

Indiana

Planning, Preservation and Design

Historic District Board of Review

CERTIFICATE OF APPROPRIATENESS

HDBR Members:

Josh Wilber, Chairman

Mike Pittman, Vice-Chairman

Owen McCall

Sandy Palmer

Carol Ann Rogers

The Historic District Board of Review of Madison, Indiana or Historic District Board of Review Staff has Approved the following work:

replace existing aluminum siding with LP Smartsiding; install wood privacy fence (30' total length) as proposed; replace existing awnings with wood awnings; replace existing windows with aluminum clad wood windows; install aluminum box gutters; replace existing wood composite shutters with wood/wood composite shutters

Conditions:

None

Findings of Fact:

City of Madison HDBR Staff:

Nicole M Schell, AICP

Director of Planning

Phone: 812-265-8324

Email: nschell@madison-in.gov

18.4 Replace in kind, using replacement windows that match the existing historic elements as closely as possible. If replacement is necessary, consider first replacing only the deteriorated element, such as a single sash, rather than the entire frame. Any new replacement windows shall match the original in all dimensions, materials, and detailing as closely as possible. Wood windows or alternative materials such as composite or aluminum-clad with a baked enamel finish may be approvable. Some modern windows do not accurately resemble historic windows and may not be approvable by the HDBR. Replacing sash windows with sliding or fixed-light windows may not be approvable by the HDBR.

Brooke Peach

Historic Preservationist

Phone: (812) 274-0253

Email: bpeach@madison-in.gov

19.4 Replace in kind. Shutters made of alternative materials that duplicate the look, appearance and patina of wood may be allowed. Vinyl shutters do not accurately duplicate the appearance of wood and are not approvable.

15.13 Install new gutters without damaging or obscuring architectural features. It is inappropriate to replace concealed, built-in gutter systems with modern exposed gutters. Gutters of all materials except copper should have a painted finish. Half-round gutters are appropriate for most contributing properties. Wood gutters may be appropriate for certain period restoration projects.

6.2 Replace awnings with appropriate materials, design, and dimensions.

6.3 Install new awnings on buildings at traditional locations such as over storefronts and upper façade windows.

6.5 Select awnings of traditional design. Shed-type awnings are most appropriate for historic buildings. Arched awnings should be installed only over an arched opening. Bubble, concave, or convex awnings are discouraged except where used originally. Awnings may be retractable or fixed in place.

20.5 Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, texture, material, and design. Appropriate

CERTIFICATE OF APPROPRIATENESS

HDCA-23-59

This is an e-permit. To learn more, scan this barcode or visit madisonin.viewpointcloud.com/#/records/2272



SITE ADDRESS

912 West 1st Street , Madison, IN 47250

PROJECT

replace existing aluminum siding with LP SmartSiding; install wood privacy fence (30' total length) as proposed; replace existing awnings with wood awnings; replace existing windows with aluminum clad wood windows; install aluminum box gutters; replace existing wood composite shutters with wood/wood composite shutters

**APPLICANT
APPROVED
ISSUED**

Van Crafton

June 7, 2023

Expires:

Nicole M Schell, AICP

Brooke Peach

Office of Planning, Preservation, & Design

Director of Planning

Historic Preservationist

812-265-8324

812-265-8324



MADISON
Indiana

Planning, Preservation and Design

MADISON HISTORIC DISTRICT BOARD OF REVIEW

Request for Certificate of Appropriateness



Application has been made by: (name) Van Crafton / Crafty83 LLC

Property Address: (address) 912 W. First St.

Proposed Action to: (explain) to complete rehabilitation which will include shingle roof, box gutters, sun brand windows, LP smart siding.
We will not be changing the current structure or footprint of the home.

Meeting will be held on: (date) 6/26/2023

POSTING DEADLINE

Place of Meeting: **City Hall — 101 W. Main Street, Madison, IN 47250**

6/11/2023

Time of Meeting: **5:30 PM**

All interested persons are welcome to attend this hearing to voice their objections or support for the application.

For further information, Contact the Office of Historic Preservation (812) 274-0253 or Plan Commission (812) 265-8324