

PROJECT BRIEF

Historic District Board of Review Application for Certificate of Appropriateness at 770 W. Third St. to build new 40'x25' garage at the rear of the home to face Presbyterian.



Application Date: June 5, 2023
HDBR Meeting Date: June 26, 2023

Project Description:
Certificate of Appropriateness application to build new 40'x25' garage at the rear of the home to face Presbyterian.

Current Zoning: Historic District Residential (HDR) **Project Location:** 770 W. Third St.

Applicant: Kimberly Mullins
770 W. Third St.
Madison, IN 47250 **Owner:** Same

Supporting Documents:
COA application
Photo of proposed garage
Site plan
Copy of HDBR meeting public sign
GIS map

Alterations, Historical Information, & Prior Approvals:

Date	c. 2000
Style	Neo-Traditional
Evaluation	Non-Contributing
Survey Notes	

Alterations:
N/A

Historical Information/Misc. Important Information:

N/A

Prior COA Approvals:

N/A

Guidelines, Standards, & Ordinances

HDBR Guidelines:

Madison Historic District Design Guidelines – 24.0 New Construction - Outbuildings p. 116-117

24.1 The design of new garages and other accessory buildings should be compatible with dwellings in the historic district. New outbuildings should respect and blend with the architectural style and scale of the associated dwelling.

24.2 Site new garages and accessory buildings appropriately on the lot. Locate detached new garages and outbuildings to the rear of a dwelling or set back from the side elevations. Attached garages and accessory buildings should be set back from the front façade of the primary dwelling at least one-third of the total depth of the dwelling.

24.5 Materials used for new garages and outbuildings should reflect the historical development of the property. Materials used at exterior façades of garages and outbuildings were often different (and less costly) than that of the main dwelling. Materials that are appropriate for new secondary buildings include wood or brick. If frame buildings are constructed, alternative materials may be considered if they resemble traditional wood siding in texture, dimension, and overall appearance. Materials such as T1-11 siding, plywood and oriented strand board (OSB) are not sufficiently durable for exterior use and are not appropriate.

24.6 Generally, the eaves and roof ridge of any new outbuilding should not be higher than those of the existing primary building.

24.7 Windows which are readily visible from the public right-of-way should be appropriate to the style of the house. Visible pedestrian doors should either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

24.8 Metal garage doors with a paneled design may be appropriate. These doors can be used on garages that are located at the back of the lot and are minimally visible from the street or public right-of-way. If the garage and garage doors are highly visible from a public street or located on a corner lot, solid wood or wood garage doors with a paneled design are more appropriate.

24.9 At double garages, two single garage doors rather than one larger, double door should be installed. This will maintain the scale and rhythm of older structures, making a two-car garage seem smaller and more compatible with the primary dwelling.

Conformance with Guidelines, Ordinance & Standards:

The project *is in* conformance with the Guideline 24.1 because the design of the proposed garage is in conformance with the Neo-Traditional style of the primary structure; *is in* conformance with 24.2 because the site plan indicates the location to be one compatible to the streetscape; *is in* conformance with Guideline 24.4 because the proposed garage will be of an appropriate mass, size, & height; *is in* conformance with Guidelines 24.5-24.8 because the proposed materials, windows, doors, and roof

ridge/eaves will be compatible with the modern primary structure; *is in* conformance with Guideline 24.9 because the proposed garage will have two separate doors for each car bay; *is in* conformance with the Ordinance because the proposed garage is compatible with the rhythm of spacing of buildings on Presbyterian.

Ordinance:

151.34 Visual Compatibility Factors

(E) Rhythm of spacing of buildings on streets. The relationship of the building to open space between it and adjoining buildings shall be visually compatible to the buildings, squares, and places to which it is visually related.

Secretary of the Interior Standards:

N/A

Preservation Brief:

N/A

Think GIS Map





HDCA-23-62

Certificate of
Appropriateness (COA)

Application

Status: Active

Submitted On: 6/1/2023


Primary Location


770 W THIRD ST
MADISON, IN 47250

Owner


Mullins Kimberly M
3RD ST 770 Madison, IN
47250-3117

Applicant

 Kimberly Mullins

 502-310-3334

kimberly.mullins@arvinsango.com

 770 W. Third St.
Madison, IN 47250

General Information

Are you the owner?*

Yes

Zoning Classification

HDR

Legal Description of Property

Will you be working with a Contractor?

No

Description of Existing Use

residential

Description of Proposed Use

same

Type of Project

Select which applies to your project.*

Define Other 

New Building

Description(s) of Work

Scope of Work*

build new 40'x25' garage at the rear of the home to face Presbyterian Ave.

Building Elements

Architectural Details

Awnings & Canopies

Chimneys

Deck

Demolition

Doors & Entrances

Fences and Walls

Fire Escapes & Staircases

Foundations

Gutters & Downspouts

Historic Garages & Outbuildings

Lighting

New Construction/Addition

Pools, Fountains, Gazebos and Pergolas

Porch Columns & Railings

Porches

Ramps and Lifts

Roofs

Shutters

Siding

Signage

Storefronts

Storm Doors and Storm Windows

Utilities

Windows

Other

Building Information

Please List All Building Materials* 


Vinyl windows, metal siding, steel doors

Acknowledgement

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

- I understand that the approval of this application by City Staff or the HDBR does not constitute approval of other federal, state, or local permit applications
- I understand that I (or my representative) will need to attend the HDBR Hearing. If no representation is present at the meeting, the application will be deemed incomplete and will be placed on the next month's agenda
- I have reviewed the City of Madison's "Historic District Guidelines" in preparing this Application.
- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

Digital Signature*

 Kimberly Mullins
Jun 1, 2023

Attachments

Site Plan

ows.net/v7703W.Main site plan.pdf
Uploaded by Brooke Beach on Jun 1, 2023 at 3:03 PM
3A12Z&se=2023-06-
(isiKjvgj3WOXPCXBF3vQvC7Z11DN1fsLOmE%3D)

Photographs

net/vpc30880__INDIANA_JEFFERSON__(770-W-3rd-
08.jpg?sv=2021-10-04&st=2023-06-
Uploaded by Brooke Beach on Jun 1, 2023 at 3:03 PM

REQUIRED

sJbatOTtBgLkUodY72GbhhgAFBkyGpjnVOEOKY%3D)

Additional Supporting Documents

ows.net/vpc30880__INDIANA_JEFFERSON__(770-W-3rd-St) (1).pdf
Uploaded by Brooke Beach on Jun 1, 2023 at 3:03 PM
SON__(770-W-3rd-St) (1).pdf
-06-06T15%3A19%3A12Z&se=2023-06-
2FQnFF%2BZcdTAsKezga7nGRpKfK4R6WZFc%3D)

770 W. Main St. COA application.pdf

ows.net/v7703W.Main St. COA application.pdf
Uploaded by Brooke Beach on Jun 1, 2023 at 3:03 PM

06T15%3A19%3A12Z&se=2023-06-
tvRVapMiVmjRiQdKcJSUmbly%2BeAur9o%3D)



Application for
Certificate of Appropriateness

HDBR Staff Review Fee	\$ 10.00
HDBR Application Fee*	\$ 25.00
HDBR Ad Fee*	\$ 15.00
Sign Fee*	\$ 2.00 per street

* Required for applications being heard before the HDBR.

Purpose: All exterior changes visible from the public right-of-way (streets/alleys) within the Madison Historic District requires a Certificate of Appropriateness (COA). Applications must be complete before the HDBR or Staff can begin the review process. Submit this application form, all supplemental documentation as required, and the required fee(s).

This application must be filed at least 15 days prior to scheduled meeting to be eligible for consideration at that meeting. Actual deadlines vary due to holidays, office business hours and operating schedule, media publishing deadlines, etc. Deadlines are published publicly and can also be provided by contacting the Planning Office.

APPLICANT INFORMATION

Name: Kimberly Mullins
Street: 770 West Third ST
City: Madison State: IN Zip: 47250
Phone (Preferred): 502-310-3334
Phone (Alternate): _____
Email: kimberly.mullins@arvinsango.com

OWNER INFORMATION (IF DIFFERENT*)

Name: _____
Street: _____
City: _____ State: _____ Zip: _____
Phone (Preferred): _____
Phone (Alternate): _____
Email: _____

** If Applicant is not Owner, MUST submit documentation from owner authorizing applicant on their behalf.*

PROPERTY FOR WHICH THE WORK IS REQUESTED

Address and/or Legal Description of Property: 770 West third St. (773 Presbyterian Ave)

Zoning Classification: _____

Type of Project (Check all that apply)

- | | |
|--|--|
| <input checked="" type="checkbox"/> New Building | <input type="checkbox"/> Restoration, Rehabilitation, or Remodel |
| <input type="checkbox"/> Addition to Building | <input type="checkbox"/> Fence or Wall |
| <input type="checkbox"/> Relocating a Building | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other: _____ |

Description of Existing Use: yard/driveway

Description of Proposed Use: garage

Name of Contractor (If applicable): TBD

Per the City of Madison Historic District Ordinance, an application must include the following in addition to the usual material required for a building permit at the time of application. For site plans all four (4) setbacks from property line MUST be labeled. Only one (1) copy of each supporting document is necessary.

Repair, Replace, or Repair/Replace:

- Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- Site Plan MUST have all four (4) setbacks labeled. (Only if changing footprint)
- Photographs (current/proposed) with captions
- Samples/brochures

New Buildings and New Additions:

- Structure Plan - Elevations (Only required if making changes to openings or adding/removing features)
- Site Plan MUST have all four (4) setbacks labeled.
- Floor Plan
- Photographs of proposed site and adjoining properties with captions
- Samples/brochures

Sign and Fence/Walls:

- Photograph of Existing with captions
- Sketches/Photo of proposed
- Samples/brochures
- COA Addendum

Moving Buildings:

- Map showing existing location
- Map showing proposed location
- Photographs of structure with captions

Demolition:

- Photographs with captions

Provide a detailed Narrative statement describing the proposed scope of work. If the project includes more than one type of project, please divide the description into sections.

Building a garage on back end of property

Either to be placed on current driveway/yard area, or back lot next to that

Include a list of existing and proposed materials for each applicable category. New Construction, Relocation, or Demolition are on the next page.

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	Brickwork & Masonry	40	STAFF		
<input type="checkbox"/>	Concrete & Stucco	42	STAFF		
<input type="checkbox"/>	Siding	44	HDBR/STAFF		
<input checked="" type="checkbox"/>	Metal	49	STAFF		
<input type="checkbox"/>	Architectural Details	52	HDBR/STAFF		
<input type="checkbox"/>	Awnings & Canopies	54	STAFF		
<input type="checkbox"/>	Cornices	56	HDBR/STAFF		
<input type="checkbox"/>	Chimneys	57	HDBR/STAFF		
<input checked="" type="checkbox"/>	Doors & Entrances	59	HDBR/STAFF		
<input type="checkbox"/>	Fire Escapes & Staircases	62	HDBR/STAFF		
<input type="checkbox"/>	Foundations	63	STAFF		
<input type="checkbox"/>	Historic Garages & Outbuildings	64	HDBR/STAFF		
<input type="checkbox"/>	Light Fixtures	66	STAFF		
<input type="checkbox"/>	Porches	68	HDBR/STAFF		
<input type="checkbox"/>	Roofs	71	HDBR/STAFF		
<input type="checkbox"/>	Signs	74	STAFF		
<input type="checkbox"/>	Storefronts	78	HDBR/STAFF		
<input checked="" type="checkbox"/>	Windows	82	HDBR/STAFF		
<input type="checkbox"/>	Window Shutters and Screens	87	HDBR/STAFF		
<input type="checkbox"/>	Fences and Walls	88	STAFF		
<input type="checkbox"/>	Mechanical Units	91	STAFF		
<input type="checkbox"/>	Pools, Fountains, Gazebos & Pergolas	93	STAFF		

Include a list of existing and proposed materials for each applicable category.

Check all that apply	Building Element	Guideline Page #	Approval Types	Existing Material	Proposed Material
<input type="checkbox"/>	New Construction - Residential	94	HDBR		
<input checked="" type="checkbox"/>	New Construction - Outbuildings	101	HDBR		
<input type="checkbox"/>	New Construction - Commercial	103	HDBR		
<input type="checkbox"/>	New Construction - Additions	109	HDBR		
<input type="checkbox"/>	New Construction - Decks	109	HDBR/STAFF		
<input type="checkbox"/>	New Construction - Accessibility	110	HDBR/STAFF		
<input type="checkbox"/>	New Construction - Energy Retrofit	112	HDBR/STAFF		
<input type="checkbox"/>	Relocation	115	HDBR		
<input type="checkbox"/>	Demolition	116	HDBR		
<input type="checkbox"/>	Other: _____		HDBR/STAFF		

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

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- I understand that I must post the notification sign(s) provided by the HDBR on site for 15 consecutive days immediately prior to the meeting on which my application will be heard by the HDBR.

3/7/23

Date

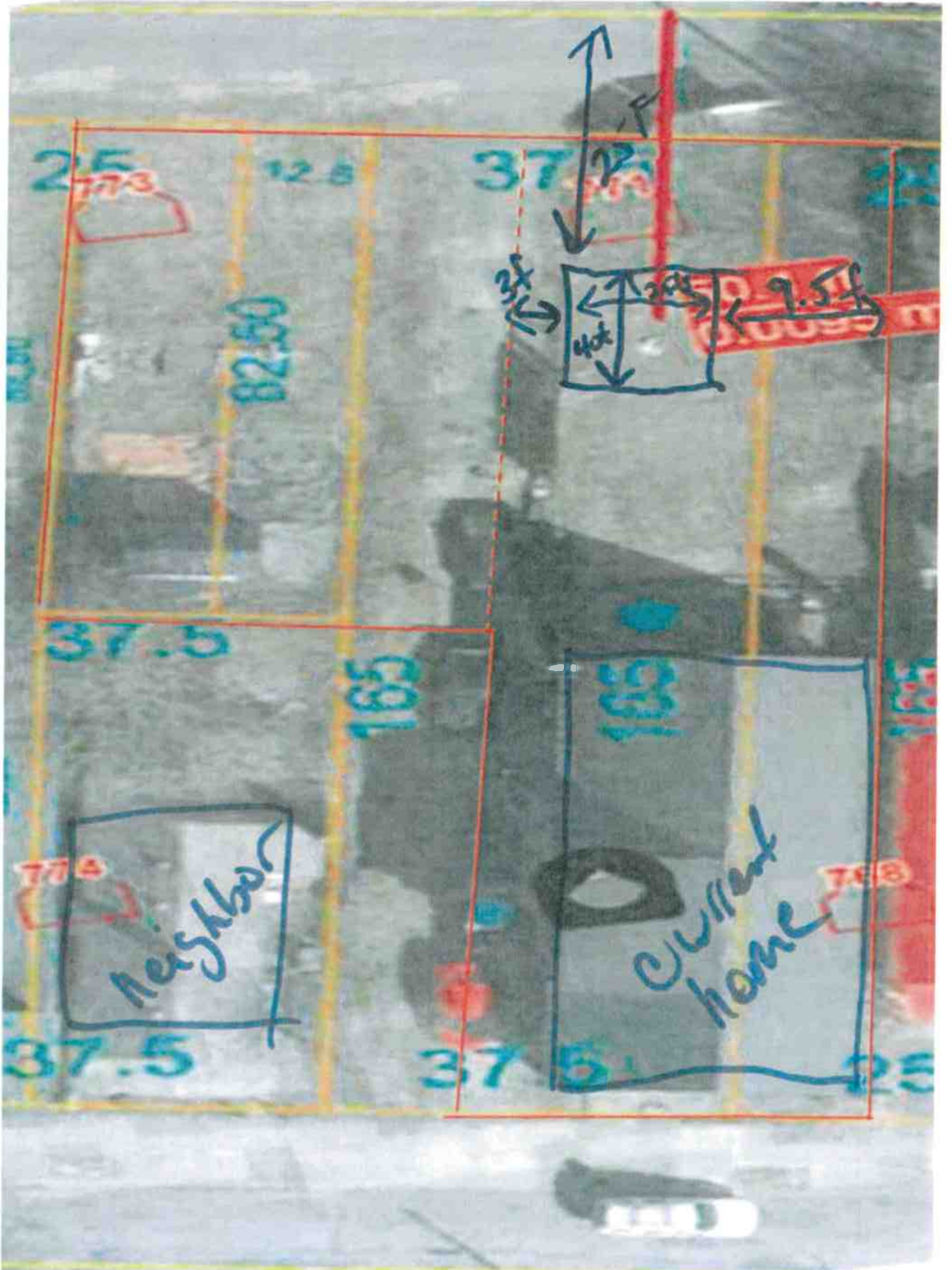
Signature of Applicant

COMPLETED BY PLANNING OFFICE		Meeting Information: Historic District Board of Review	
Application Accepted on: _____		101 W Main St, Madison, IN 47250 – Council Chambers	
Application Accepted by: _____		Meeting Date: _____ Time: 5:30PM	
Application to be Reviewed by:		Action on Application:	
<input type="checkbox"/> HDBR	<input type="checkbox"/> STAFF	<input type="checkbox"/> HDBR/STAFF COA issued	<input type="checkbox"/> HDBR/STAFF COA denied
		<input type="checkbox"/> HDBR Extended	<input type="checkbox"/> Sent to HDBR by Staff

Documentation Review (Completed by Planning Office)

- ___ Owner Authorization provided (if req'd)
- ___ Site plan is adequate
- ___ Application is complete

- ___ Required supporting documents are provided
- ___ COA Addendum (if req'd)
- ___ Notification Sign given to applicant



25
773

12.5

37.5

82.50

3.5

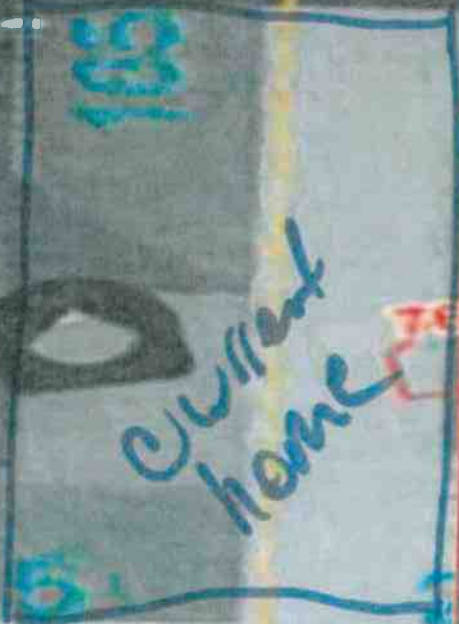


9.5 ft

37.5

185

185



37.5

37.5

25





HISTORIC RESOURCE INVENTORY FORM

Resource Address: 770 W 3rd St Madison Indiana 47250 USA
County: Jefferson
Historic name:
Present name:
Local place name:
Visible from public right of way: Yes
Ownership: Private
Owner/Address:
Land unit size:
Site/Setting: There is a linear driveway to an attached garage.



Lat/Long: 38.7399748000000000, -85.3922527000000000 [WGS84]

UTM: Zone 16S, 639729.7921 mE, 4289148.9513 mN

Parcel No.

Historical Information

Historic Function: Domestic: Single Dwelling	Current Function: Domestic: Single Dwelling
Construction Date: ca. 2000-2009 , circa 2000*	Architect:
Original or Significant Owners:	Builder:
Significant Date/Period:	Developer:
Areas of Significance:	

Architectural Information

Category: building, House	Style: Neo-Traditional	<input type="checkbox"/> Additions <input type="checkbox"/> Alterations <input type="checkbox"/> Moved <input type="checkbox"/> Other Ancillary structures:
Structural:	Exterior Material(s): brick	
Stories: 2, Bays:	Roof Material: asphalt shingles	
Form or Plan: , rectangular	Roof Type: Front gable	
Foundation: concrete block	Windows: original wood 1/1 double-hung sashes	
General condition: Excellent	Chimney(s):	
Basement:	Porch:	

Historical Summary:

Status (Current Listing or Designation)

National: indiv. district landmrk.

State/Province: indiv. district landmrk.

Local: indiv. district landmrk.

2006, Madison National Historic Landmark District

1982, Madison Local Historic District

Evaluation (Preparer's Assessment of Eligibility)

Recommendation

- Individually eligible
 Eligible as contributing resource
 Not eligible / non-contributing
 Not determined

Level of potential eligibility

- National
 State
 Local

Landmark potential

- National
 State
 Local

Description/Remarks

This is a 2-story house in the Neo-Traditional style built in 2000. The building is rectangular in plan. The foundation is concrete block. Exterior walls are brick. Brick is running bond. The building has a front gable roof clad in asphalt shingles. High pitched gable roof, decorative boxed eaves and gable-end returns, decorative brick coursing below the cornice. Windows are original wood, 1/1 double-hung sashes. Modern windows, wooden shutters, and lintels. Door with panels below and paired, tall, arched lights above. There is a transom window above the door.

Survey and Recorder

Project: Search for '770 w 3' in Madison, Indiana (1 results)	Sequence/Key no.:	Survey Date: December 2021
Prepared By: Peggy Veregin, The Lakota Group/Douglas Gilbert Architect	Report Title/Name: Madison Local Historic District Update	Previous Surveys: Madison Reconnaissance Survey (2002-2004), surveyed Jul 01, 2002, Site Number 2-080
Inventoried: 09/20/2021 11:42:53 am Last updated: 07/19/2022 1:40:14 pm by /	Level of Survey: <input checked="" type="checkbox"/> Reconnaissance <input type="checkbox"/> Intensive	Additional Research Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No



- 2015 Flood Map
FLD_ZONE:
AE
- Regional Counties
 - County Boundary
 - Townships
 - Water
 - Parcels
 - Corporate Boundaries
 - Sewer Structures
 - Addresses
 - Common Addresses

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Dimensions
- Roads
- Highways
- Trails

