



## PCRZ-24-7

Application to Amend  
the Official Zoning  
Map (Rezoning)

Status: Active

Submitted On: 6/25/2024

## Primary Location

1221 CLIFTY DR  
MADISON, IN 47250

## Owner

BOYS NM THE AN INDIANA  
GENERAL PARTNERSHIP  
WITH KNOTTS CLAYTON S  
AND KNOTTS DAVI  
GLENLAKE PARKWAY 5TH  
FLOOR 3 Atlanta, GA 30328

## Applicant

 Cole Couchman  
 614-487-8770 ext. 224  
 ccouchman@redarchitecture.com  
 589 W Nationwide Blvd. Suite B  
Columbus, OH 43215

## General Information

Are you the property owner? \*

No

## Property Owner Information

Property Owner Name\*

Patrick Ault

Mailing Street Address\*

Three Glenlake Parkway

City\*

Atlanta

State\*

GA

Zip Code\*

30328

## Permit Information

### Address or Legal Description of Property\*

1221 Clifty Drive Madison, IN 47250

### Parcel I.D.

### Present Zoning Classification\*

M-1 Lighting Manufacturing

### Approximate Cost of Work to be Done

\$250,000

### Description of Proposed Use\*

A remodeled Arby's Restaurant offering dine-in, carry out and drive thru service. Building foot print and square footage will not change, this is a cosmetic remodel.

### Proposed Zoning Classification\*

GB General Business

### Description of the rezoning request\*


An existing Arby's location stands on the site and we presume was Grandfathered in to the new zoning classifications as the site is currently classified as M-1. In order to perform any remodel work on the restaurant, the site must be correctly zoned for the Arby's to exist. Since there are already General Business (GB) classified zones across the street, it was decided this would be the simplest rezoning possible and allow for the Arby's remodel to occur.

## Acknowledgement

*Certified letters MUST be mailed to adjoining property owners (includes owners of real estate at corners, accross streets, alleys or easements as well as others who may share a common boundary) at least ten (10) days prior to the meeting. The Planning Office can assist you in obtaining this information. Proof of the Certified Mail receipts and the corresponding returned green cards shall be given to the Planning Office at least one (1) working day prior to the scheduled meeting. The Board will not review the application unless these are received.*

**I certify that the information provided in this application is true and accurate to the best of my ability and I understand and agree to the Certified mail stipulations.**

**Digital Signature\***

 Cole Couchman  
Jun 25, 2024

PROPERTY OWNER AUTHORIZATION FORM

I/We, Patrick Ault hereby authorize  
(Property Owner(s) – Please Print)

Cole Couchman, representative for Arby's Restaurant Group  
(Applicant's Name) (Company, Firm, Organization)

to make application for a Amendment to the Final Plat to  
(Type of Permit)

Rezone the property from M-1 to G-B at  
(Description of Proposed Work)

1221 Clifty Drive  
(Property Address)

Madison, IN 47250  
(City, State, Zip Code)

Patrick Ault  
(Property Owner Signature)

08/08/24  
(Date)



**Madison Zoning**

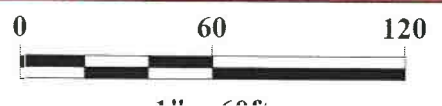
Zoning Code:

- GB
- M-1

- Regional Counties
- County Boundary
- Townships
- Corporate Boundaries
- Water
- Parcels
- Drives, Alleys, etc.

**Addresses**

- Regional Counties
- Regional Roads
- Regional Highways
- Water
- Railroad
- Drives, Alleys, etc.
- Roads
- Highways

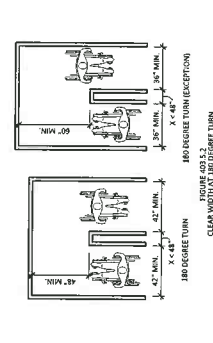
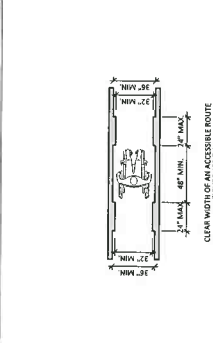




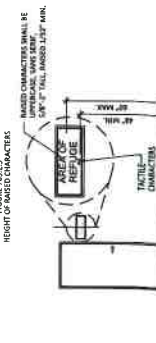
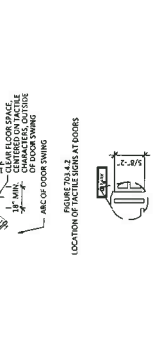
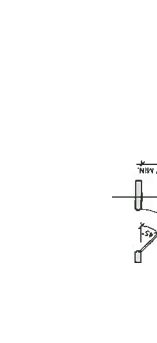


**ACCESSIBILITY INFORMATION**

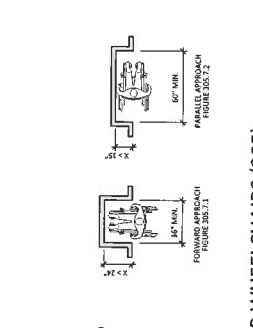
A. THE DETAILS ON SHEETS GO.1 AND GO.2 ARE FOR REFERENCE ONLY.  
 B. THE DETAILS ON SHEETS GO.3 AND GO.4 ARE BASED ON THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. HOWEVER, WHERE NOT 1:12:1,0009 AND REGULATIONS ARE MORE STRINGENT, THE REGULATION AND REGULATIONS AS SUCH.



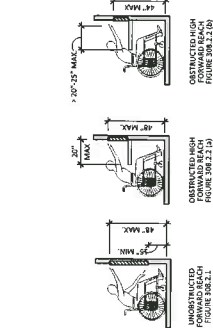
**WALKING SURFACE CLEARANCES (403.5)**



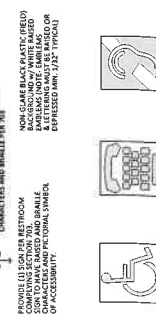
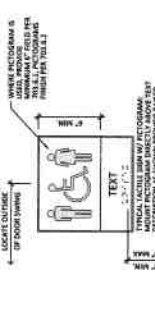
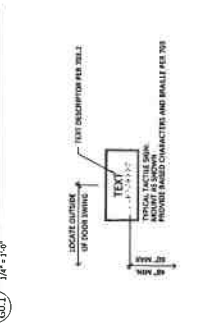
**INSTALLATION HEIGHT AND LOCATIONS (703.4)**



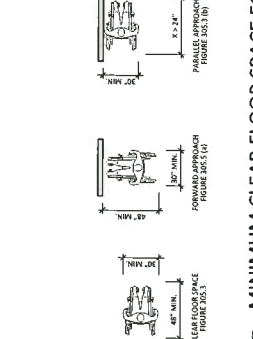
**MINIMUM CLEAR FLOOR SPACE FOR WHEELCHAIRS (305)**



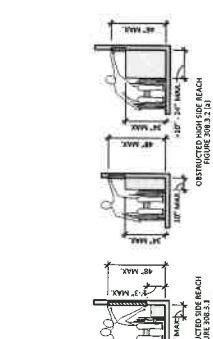
**FORWARD REACH (308.2)**



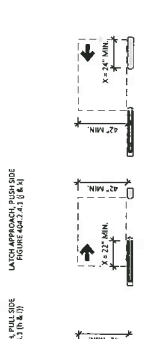
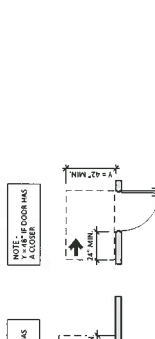
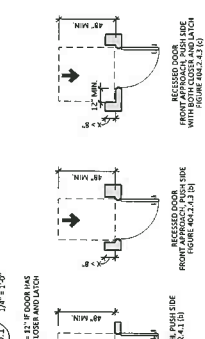
**SIGNS (703)**



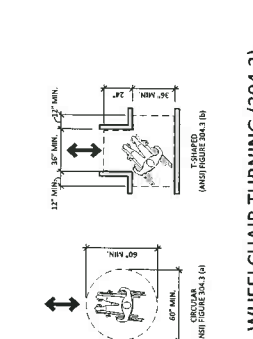
**WHEELCHAIR TURNING (304.3)**



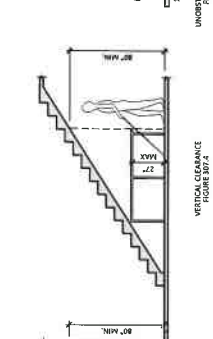
**SIDE REACH (308.3)**



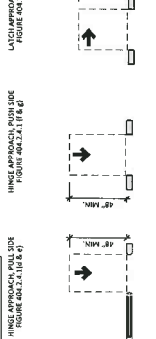
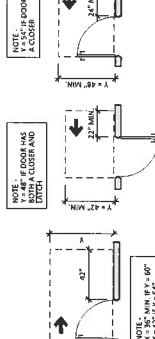
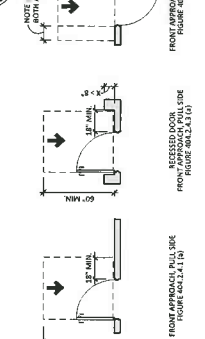
**MANEUVERING CLEARANCES AT MANUAL DOORS (404.2)**



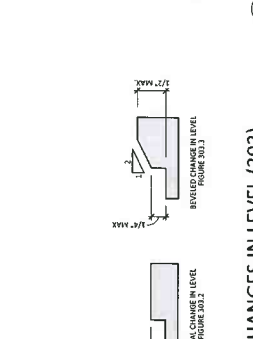
**CHANGES IN LEVEL (303)**



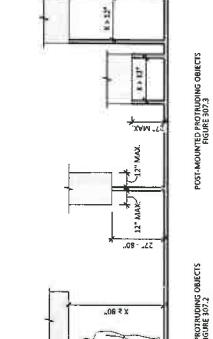
**PROTRUDING OBJECTS (307)**



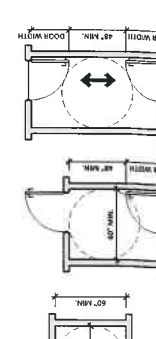
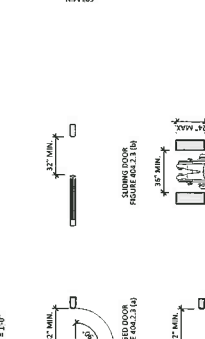
**DOORS IN SERIES (ANSI 404.2.5)**



**CHANGES IN LEVEL (303)**



**PROTRUDING OBJECTS (307)**

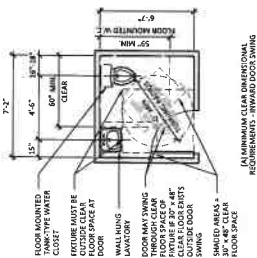


**DOORS IN SERIES (ANSI 404.2.5)**

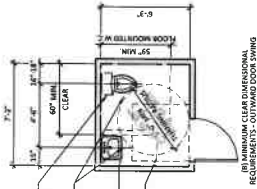




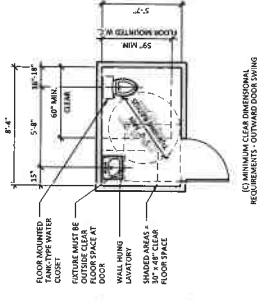
NOTE: 30" MIN. OF CLEAR FLOOR SPACE IS REQUIRED IN EVERY PART OF THE TOILET COMPARTMENT. THE DOOR IS PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE. THE DOOR MUST BE A REINFORCED METAL DOUBLE CLEAR TURNING SPACE.



**1 SINGLE OCCUPANT TOILET ROOM**  
 1/4" = 1'-0"

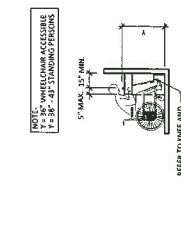


**2** 1/4" = 1'-0"

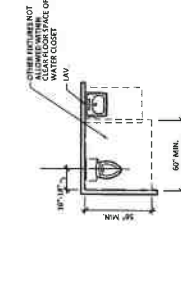


**3** 1/4" = 1'-0"

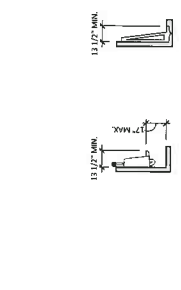
REFER TO KNEE AND TOE CLEARANCE REQUIREMENTS ON THIS SHEET.  
 REFRIGERATOR AND CUPBOARD CLEARANCE REQUIREMENTS PER FIGURE 602.3 (A).  
 5" MAX. 35" MIN.



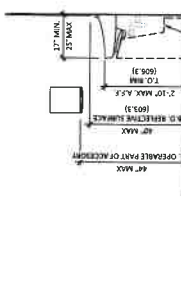
**4 DRINKING FOUNTAINS (602)**  
 1/4" = 1'-0"



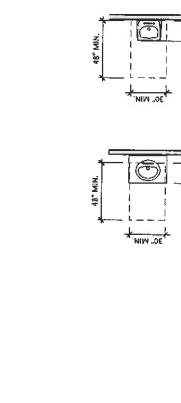
**5 W.C. CLEAR FLOOR SPACE (604.3)**  
 1/4" = 1'-0"



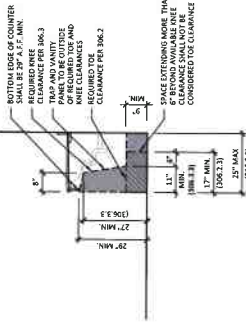
**6 URINAL CLEARANCES (605)**  
 1/4" = 1'-0"



**7 LAV. CLEARANCES (606)**  
 1/4" = 1'-0"



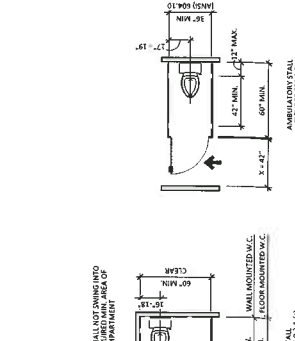
**8 LAV. CLEAR FLOOR (606.2)**  
 1/4" = 1'-0"



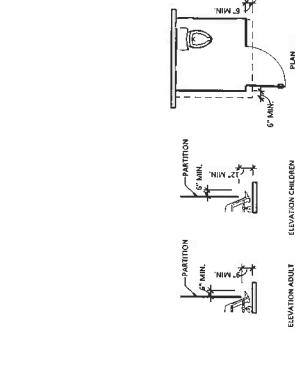
**9 KNEE AND TOE CLEARANCE (306)**  
 1/4" = 1'-0"



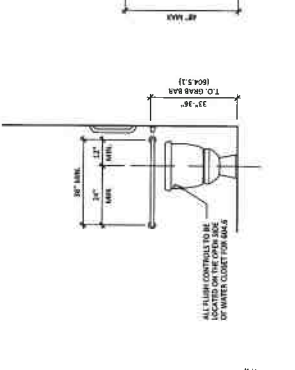
**10 WATER CLOSET GRAB BARS & CONTROLS (604.5)**  
 1/4" = 1'-0"



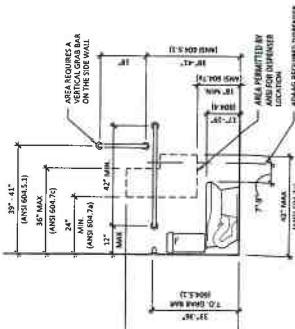
**11 TOILET COMPARTMENT SIZE (604.8.1.1)**  
 1/4" = 1'-0"



**12 CLEARANCE AT TOILET COMPARTMENT (604.8.1.4)**  
 1/4" = 1'-0"



**13 LAV. CLEARANCES (606)**  
 1/4" = 1'-0"



**14 WATER CLOSET GRAB BARS & CONTROLS (604.5)**  
 1/4" = 1'-0"



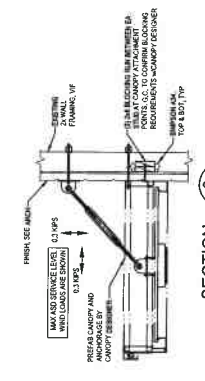




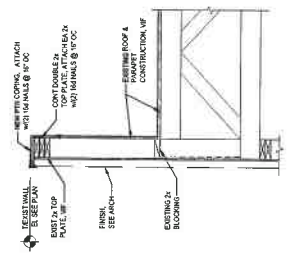
PROJECT NUMBER	1655
DATE	AUGUST 2020
ISSUANCE	
NO	05.23.24
OR	06.20.24
PERMIT	06.23.24

SHEET NAME & NUMBER  
 PARTIAL EXISTING ROOF FRAMING PLAN AND SECTIONS

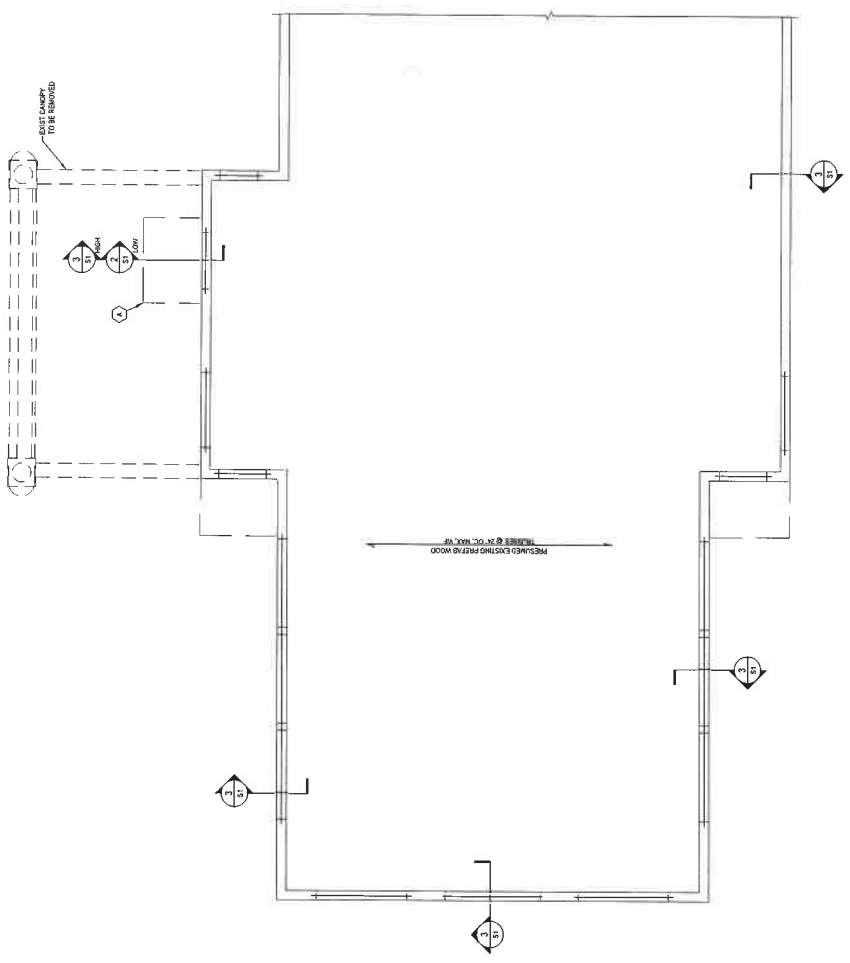
**S1**



SECTION 2  
SCALE 3/4" = 1'-0"



SECTION 3  
SCALE 3/4" = 1'-0"



PARTIAL EXISTING ROOF FRAMING PLAN 1  
SCALE 3/4" = 1'-0"

- ROOF FRAMING PLAN GENERAL NOTES:**
- SEE SHEET FOR GENERAL NOTES.
  - EXISTING ROOF CONSTRUCTION WOOD SHEETING ON PRECAST WOOD TRUSSES.
  - PRECAST CANOPY TO BE DESIGNED AND ENGINEERED. CALCULATIONS AND ASSOCIATED DETAILS TO BE PROVIDED BY THE DESIGNER. ALL MATERIALS TO BE USED BY PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT.
  - CONFIRM EXISTING WALL AND ROOF CONSTRUCTION PRIOR TO DEMOLITION. NOTIFY ENGINEER OF RECORD IF CONFLICTING LATER THAN THAT SHOWN IN PLAN.
- ROOF FRAMING PLAN LEGEND:**
- EXISTING TRUSS
  - EXISTING BEAM
  - EXISTING CHASE
  - EXISTING TRUSS TO REMAIN
  - EXISTING BEAM TO REMAIN
  - EXISTING CHASE TO REMAIN
  - EXISTING TRUSS TO BE REMOVED
  - EXISTING BEAM TO BE REMOVED
  - EXISTING CHASE TO BE REMOVED
  - PRECAST CANOPY - SEE ARCH.



PROJECT NUMBER	ARG020
ISSUANCE	05.15.14
DATE	06.02.14
PERMIT	06.11.14

# AS1.1

### SITE PLAN GENERAL NOTES

- NEW SITE: PAVING ANCHOR DETAIL SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR GENERAL CONTRACTORS FOR HIGHWAY CONSTRUCTION. THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION SHALL BE THE LATEST EDITION. THE STANDARD SPECIFICATIONS SHALL MEET ACCESSIBILITY REQUIREMENTS AND THE OWNER IS TO PROVIDE THE NECESSARY FIELD NOTES TO START OF CONSTRUCTION.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND BURIALS. PROVIDE DETECTABLE WARNING AT TRANSITION FROM DRIVEWAY TO DRIVE ALLE. ACCESSIBLE PARKING SPACES AND ACCESSIBLE SPACES SHALL HAVE AN AVANCEE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- CROSS SLOPE ALONG ENTIRE LENGTH OF ACCESSIBLE ROUTE NOT TO EXCEED 2%.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.
- SCAPE AND REPAIR ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, BALUNES, & SITE LIGHTING BASES.
- REFER TO OWNER'S BID NOTES FOR SITE LIGHTING SCOPE.

### FOUNDATIONS

- ALL EXISTING FOUNDATIONS SHALL BE REINFORCED WITH 1" DIA. STEEL REBAR. ALL EXISTING FILL ORGANIC MATERIAL ON FROZEN WET, SOFT, LOOSE OR OTHERWISE UNSUITABLE MATERIALS.
- THE LAYING OF AN ADAPTED SOIL-TESTING AGENCY IS RECOMMENDED TO VERIFY UNDER THE FOOTING AT THE INDICATED BEARING ELEVATION AND THE ASSIGNED SOIL TYPE. THE FOOTING SHALL BE REINFORCED BY THE SOOTH-TERRITORIAL BUILDING CODE OF 180 PSF/FT IS ACCEPTABLE.
- FOOTINGS SHALL BEAR ON FIRM UNDISTURBED MATERIAL ON ALL SITES. IF UNDESIRABLE MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL OBTAIN THE REQUIRED SPECIFICATIONS, A GEOLOGICAL ENGINEER SHALL BE CONSULTED FOR RECOMMENDATIONS FOR REMEDIATION.
- PAVE FOOTINGS THE SAME DATE EXCAVATIONS ARE OPENED. IF THIS IS NOT PRACTICAL, EXCAVATIONS SHALL BE REINFORCED WITH 1" DIA. STEEL REBAR. ALL EXISTING FOUNDATIONS SHALL BE REINFORCED WITH 1" DIA. STEEL REBAR. ALL EXISTING FOUNDATIONS SHALL BE REINFORCED WITH 1" DIA. STEEL REBAR. ALL EXISTING FOUNDATIONS SHALL BE REINFORCED WITH 1" DIA. STEEL REBAR.

### CONCRETE

ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 308.1R AND SHALL BE PROTECTED FROM DAMAGE BY ALL MEANS WITHOUT DELAY.

### CONCRETE SCHEDULE

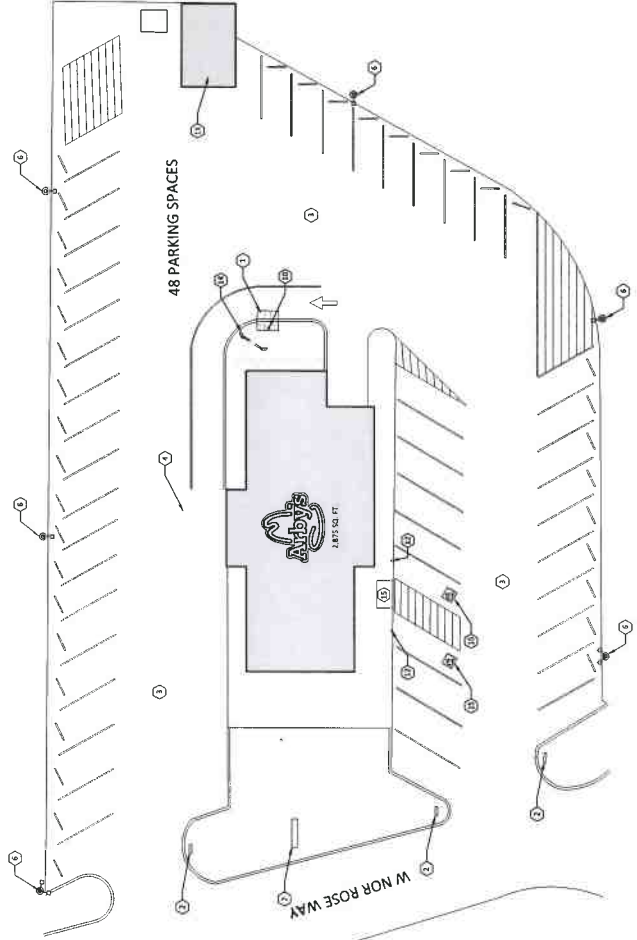
CLASS	28 DAY COMPRESSIVE STRENGTH	AIR CONTENT	CONCRETE PLACEMENT
A	3000 PSI	MIN 3.1%	FOOTING

### REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE STANDARD SPECIFICATIONS SHALL MEET ACCESSIBILITY REQUIREMENTS AND THE OWNER IS TO PROVIDE THE NECESSARY FIELD NOTES TO START OF CONSTRUCTION.
- REINFORCING STEEL SHALL BE EMPLOYED AND SECURED ACCORDING TO THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- SUPPORT BOTTOM OF FOOTING REINFORCEMENT WITH CONCRETE MASONRY UNITS.
- DETAILS OF FABRICATION AND PACKING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE STANDARD SPECIFICATIONS SHALL MEET ACCESSIBILITY REQUIREMENTS AND THE OWNER IS TO PROVIDE THE NECESSARY FIELD NOTES TO START OF CONSTRUCTION.
- ALL CONCRETE REINFORCEMENT MATERIALS SHALL BE NEW, FREE FROM RUST, AND COMPATIBLE WITH THE FOLLOWING REFERENCE STANDARDS:  
 A. ALL REINFORCING BARS: ASTM A-615, GRADE 60

### CODED NOTES

- INSTALL NEW OWNER SUBMITTED DRIVE CURB CURBLINE AT EXISTING LOCATION. GENERAL CONTRACTOR TO INSTALL CONCRETE CURB ON FOUNDATION TO THE BACK OF CURB. REFER TO ELECTRICAL DRAWINGS FOR CURB LIGHTING AND PAINTED.
- SEAL COAT AND RE-STRIPE PARKING LOT.
- REMOVE EXISTING CURB LANS AND ASSOCIATED CURB AND REPAIR. COORDINATE WITH OWNER ON EXTENT OF ASPHALT REPAIR.
- NOT USED.
- EXISTING SITE LIGHTING, SCAPES AND REPAIR LOT LIGHT BASES AS REQUIRED BY OWNER. POLES TO REMAIN AS-IS.
- NOT USED.
- NOT USED.
- NOT USED.
- EXISTING PREWER POST TO BE REMOVED.
- EXISTING SIGNS TO REMAIN.
- NEW ADA STORAGE. REFER TO A11.2.
- NOT USED.
- EXISTING EXTERIOR MENU BOARD TO REMAIN.
- REMOVE EXISTING EXTERIOR MENU BOARD. TO BE REPLACED WITH NEW MENU BOARD. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER.
- REMOVE EXISTING EXTERIOR MENU BOARD. TO BE REPLACED WITH NEW MENU BOARD. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER. TO BE INSTALLED BY OWNER.



ARCHITECTURAL SITE PLAN  
 1/8" = 1'-0"



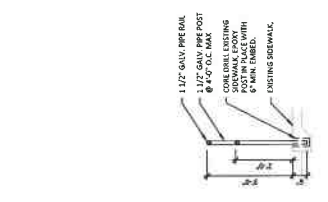
ALL DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



ARBY'S RESTAURANT - #1655  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.  
 PROJECT NUMBER: ARS2020  
 ISSUANCE: 09.15.24  
 DR: 09.30.24  
 PERMIT: 09.21.24

SHEET NAME & NUMBER  
 SITE DETAILS

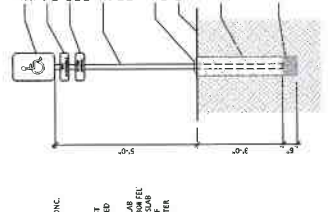
AS1.2



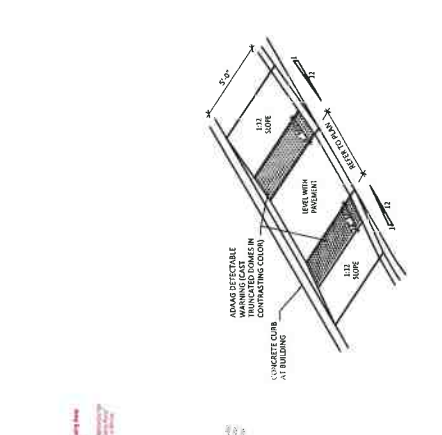
1 TYP. BOLLARD DETAIL  
 1/2" = 1'-0"



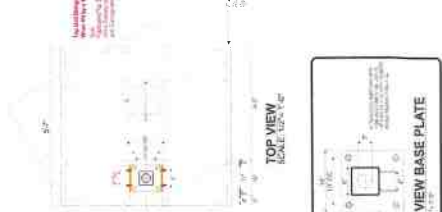
2 ACCESSIBLE SIGN DETAIL  
 1/2" = 1'-0"



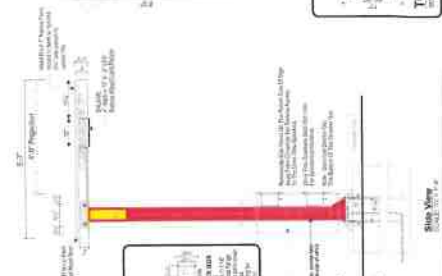
3 DRIVE THRU RAIL DETAIL  
 1/2" = 1'-0"



4 ADA CONCRETE CURB RAMP DETAIL  
 1/2" = 1'-0"



5 DRIVE THRU CANOPY DETAIL  
 1/2" = 1'-0"



6 TOP VIEW BASE PLATE  
 1/2" = 1'-0"



7 DRIVE THRU CANOPY COLLISION  
 1/2" = 1'-0"



8 SLIP VIEW  
 1/2" = 1'-0"

CONTRACTOR SUPPLY

CONTRACTOR SUPPLY



**ARBYS RESTAURANT - #1655**  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER	ARC8209
ISSUANCE	06.15.24
DR	06.20.24
PERMIT	08.11.24

**SHEET NAME & NUMBER**  
 MENU BOARD  
 DETAILS

**AS1.3**

**OUTDOOR DRIVE THRU MENU SYSTEM**

NOTE: MENU BOARD SUPPLIED BY OWNER, ASSEMBLED AND INSTALLED BY O.C.  
 BOARD IS ORIENTED:  
 OVERALL LIGHT BOX SIZE: 24.5" W x 9.5" D x 4.9" H (4")  
 OVERALL CAB WITH BASE: 30.75" W x 9.75" D x 7.75" H  
 MOUNTING HOLE: 31.00" / 1.18" (FOR MOUNTING BASE FOR CAB)  
 31.00" (FOR MOUNTING HOLE)

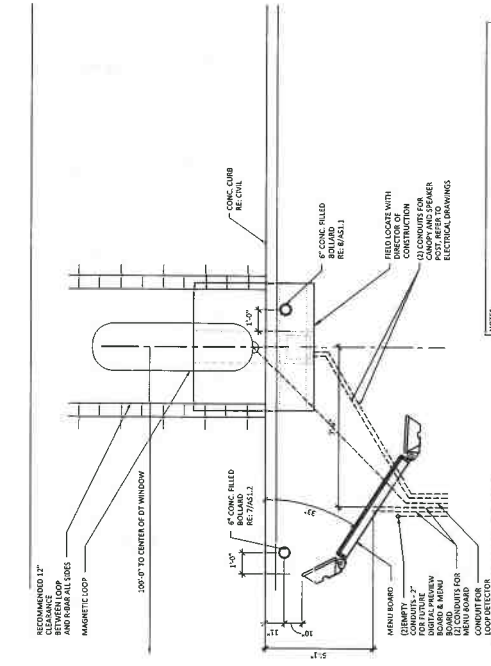
**SYSTEM BASES:**

- THE SYSTEMS COMPONENTS AS SHOWN WITH THE OPTION OF MOUNTING IT THREE DIFFERENT WAYS. IT CAN BE MOUNTED AS A FREESTANDING PRELUMEN BOARD, MOUNTED TO A WALL, OR MOUNTED TO A WALL MOUNTED PRELUMEN BOARD. THE MOUNTING METHOD WILL BE DETERMINED BY THE ARCHITECT AND THE OWNER.
- THE PANEL OPTIONS: TWO MAIN TRANSFORMER OPTIONS AND ONE SEPARATE TRANSFORMER PANEL OPTION. THE SEPARATE TRANSFORMER PANEL OPTION IS A SEPARATE TRANSFORMER PANEL THAT IS MOUNTED TO THE CABINET WITH THE SYSTEM BASE.
- TRANSFORMER: MINI TRANSFORMER IS 15.50" W x 8.00" D x 2.50" H

**ELECTRICAL INFORMATION:**  
 THE SYSTEM IS POWERED BY 110 VOLTS, 60 HERTZ ON A BASIC 15 AMP CIRCUIT. THE LIGHT BOXES ARE 15 AMP. THE TRANSFORMER IS 15 AMP. THE LIGHT BOXES ARE 15 AMP. THE TRANSFORMER IS 15 AMP. THE LIGHT BOXES ARE 15 AMP.

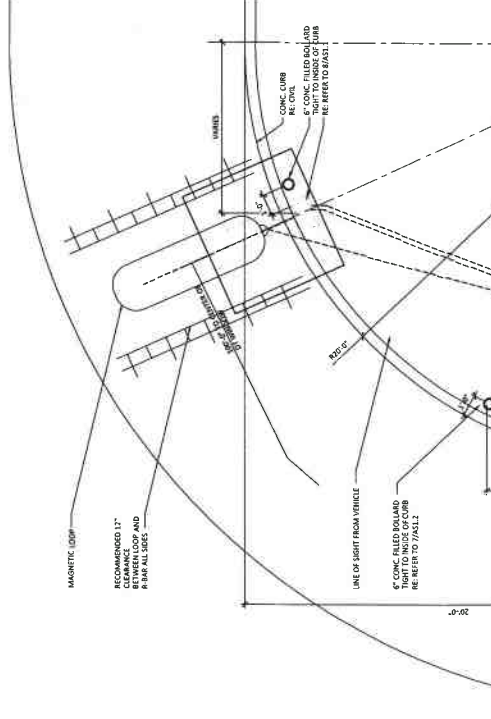
**BASE CONSTRUCTION:**  
 LIGHT BOX: PHOTO INCLUDED POLYETHYLENE ENCLOSURE  
 LIGHT BOX: PHOTO INCLUDED POLYETHYLENE ENCLOSURE  
 LIGHT BOX: PHOTO INCLUDED POLYETHYLENE ENCLOSURE  
 LIGHT BOX: PHOTO INCLUDED POLYETHYLENE ENCLOSURE

THESE ARE PHYSICAL MENU BOARD DETAILS. THEY HAVE BEEN DEVELOPED BY ARBYS RESTAURANT GROUP FOR INFORMATIONAL PURPOSES ONLY. THEY DO NOT TAKE THE PLACE OF SHOP DRAWINGS FOR THE SPECIFIC PROJECT. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE DEVELOPED WITH THE O.C. ON ELECTRICAL, PANELS, AND THE O.C.'S INVESTIGATION REPORT.



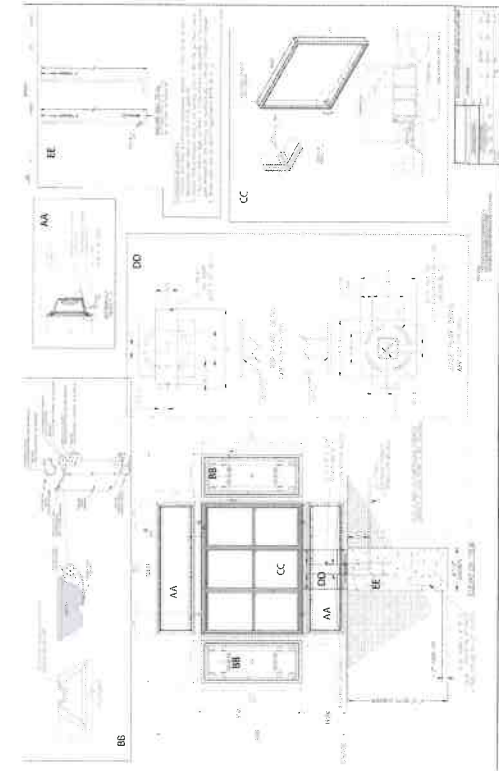
**NOTES:**  
 FOLLOW THE DIAGRAM IF NOT INSTALLING ON A STROUGHT DRIVE APPROXIMATIONS SHOULD BE TAKEN TO ALLOW AMPLE CLEARANCE BETWEEN THE DRIVE AND THE APPROPRIATE CLEARANCE.  
 COORDINATE EXACT LOCATION OF MENU BOARD WITH OWNER'S CONSTRUCTION PER.

**DRIVE THRU PLAN - LINEAR**  
 3/8" = 1'-0"  
 1/4" = 3/16"



**NOTES:**  
 FOLLOW THE DIAGRAM IF INSTALLING ON A CURVED DRIVE APPROXIMATIONS SHOULD BE TAKEN TO ALLOW AMPLE CLEARANCE BETWEEN THE DRIVE AND THE APPROPRIATE CLEARANCE.  
 COORDINATE EXACT LOCATION OF MENU BOARD WITH OWNER'S CONSTRUCTION PER.

**DRIVE THRU PLAN - CURVED**  
 3/8" = 1'-0"  
 1/4" = 3/16"



**FOR REFERENCE ONLY**  
**3**  
**AS1.3**  
 MENU BOARD DETAILS  
 N.T.S.



PROJECT NUMBER	ARG520
ISSUANCE	06.13.24
OK	06.20.24
PRINT	06.13.24

SHEET NAME & NUMBER

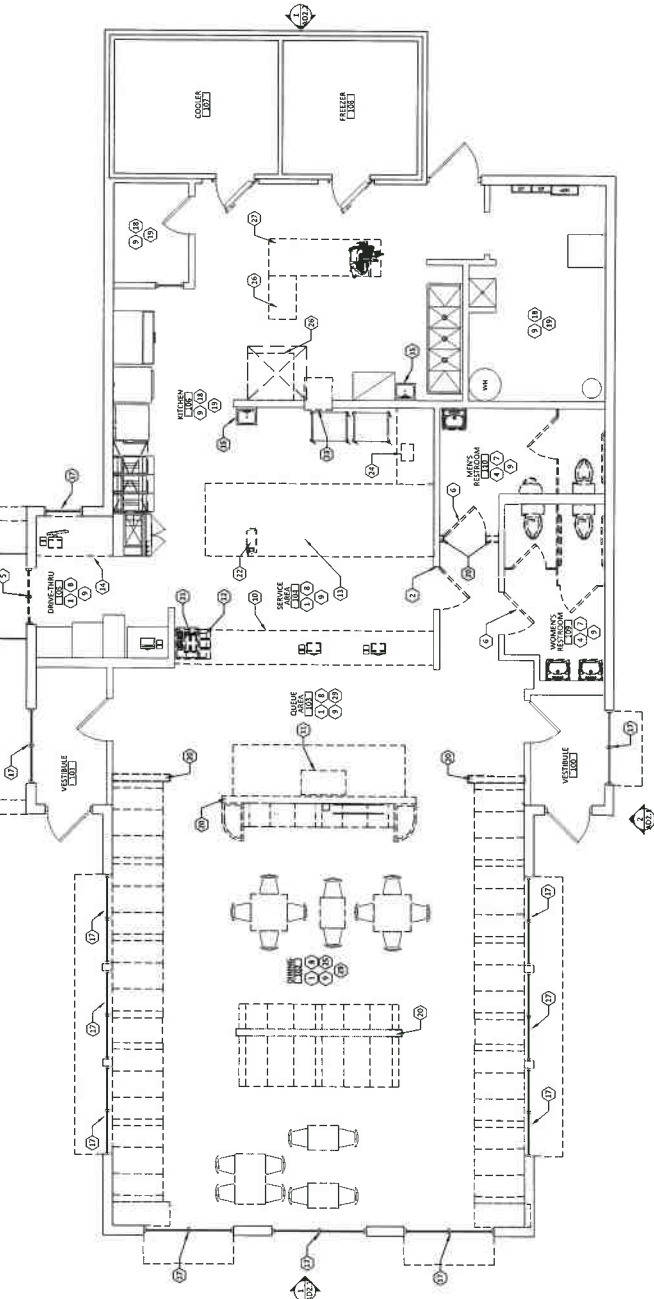
DEMOLITION FLOOR PLAN

AD1.1

- GENERAL DEMOLITION NOTES**
- FIELD VERIFY ALL DIMENSIONS PRIOR TO SUBMISSION OF BID AND COMMENCEMENT OF WORK.
  - EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID AND COMMENCEMENT OF WORK.
  - EACH CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID AND THE START OF DEMOLITION.
  - ALL SUB-CONTRACTORS ARE TO CONSULT WITH THE GENERAL CONTRACTOR AND ARCHITECT TO VERIFY ALL DIMENSIONS, DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
  - SEE PLUMBING, MECHANICAL AND ELECTRICAL SHEETS FOR ADDITIONAL DEMOLITION INFORMATION.
  - NOTIFY OWNERS REPRESENTATIVE OF ANY HAZARDOUS MATERIALS (ASBESTOS, FIBERGLASS, PCB'S, ETC.) PRIOR TO THE BEGINNING OF DEMOLITION.
  - OWNER REPRESENTATIVE SHALL VERIFY ALL DIMENSIONS, DISCREPANCIES AND HAZARDOUS MATERIALS STORAGE OF ITEMS WITH THE OWNER'S REPRESENTATIVE.
  - DEMOLITION CONTRACTOR IS TO PROVIDE PROPER VENTILATION OF ALL VAPOR.
  - LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. RELOCATE AS REQUIRED. SEE PLUMBING, MECHANICAL AND ELECTRICAL SHEETS.
  - MAINTAIN EXISTING UTILITY SERVICES. PROTECT DURING DEMOLITION AND REPAIR/REPLACE AS REQUIRED. PROVIDE TEMPORARY SERVICES IN CONFORMANCE WITH GOVERNING AUTHORITY.
  - MAINTAIN CONTINUITY OF SERVICES TO OCCUPANCY AREAS AS REQUIRED TO MAINTAIN OPERATIONAL INTEGRITY OF THE BUILDING.
  - COORDINATE UTILITY SERVICES (TRIM) TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION.
  - REMOVE UNMOUNTED PLUMBING, HVAC, AND ELECTRIC BACK TO SOURCE, AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SCENE.
  - REMOVE EXISTING STAINLESS STEEL TRIM.
  - EXISTING STOREFRONT TO REMAIN.
  - EXISTING CEILING TILE IN EXISTING GRID TO REMAIN.
  - EXISTING HVAC DIFFUSERS AND SUPPLY GRILLS TO REMAIN.
  - REMOVE EXISTING WALL COMPLETELY.
  - REMOVE EXISTING LANGUAGE BUBBLE AND SAVE FOR REUSE.
  - REMOVE EXISTING COFFEE MACHINE AND SAVE FOR REUSE.
  - REMOVE EXISTING AT-O-SHAK.
  - REMOVE EXISTING COOK N HOOD AND SAVE FOR REUSE.
  - REMOVE EXISTING CHAIRS, TABLES AND BOOTIES COMPLETELY.
  - REMOVE EXISTING BLOODSTAIN OVER.
  - EXISTING SLIDER AND TABLE TO BE RELOCATED, COORDINATE FINAL LOCATION WITH ARBY'S GM.
  - REMOVE THRU CANOPY TO BE REMOVED COMPLETELY, REFER TO STRUCTURAL DRAWINGS.
  - EXISTING CEILING SPEAKERS TO REMAIN.

**WALL LEGEND**

[Symbol]	EXISTING WALL/PARTITION TO BE REMOVED
[Symbol]	EXISTING WALL/PARTITION TO REMAIN



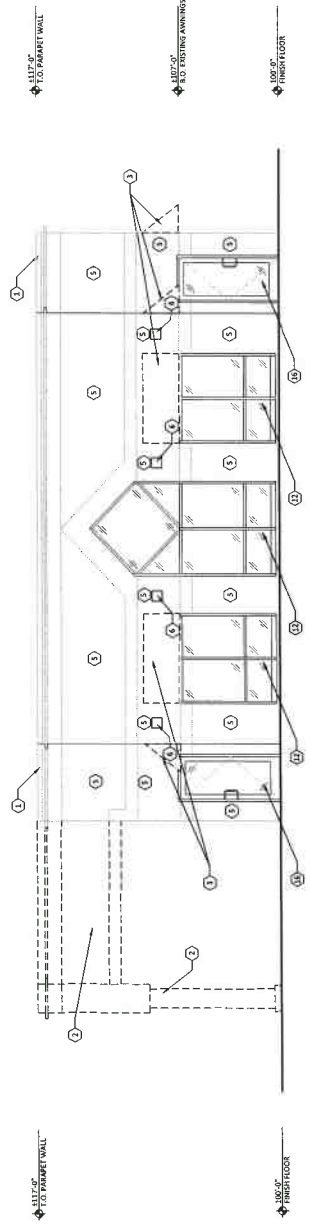
DEMOLITION FLOOR PLAN  
 1/8" = 1'-0"



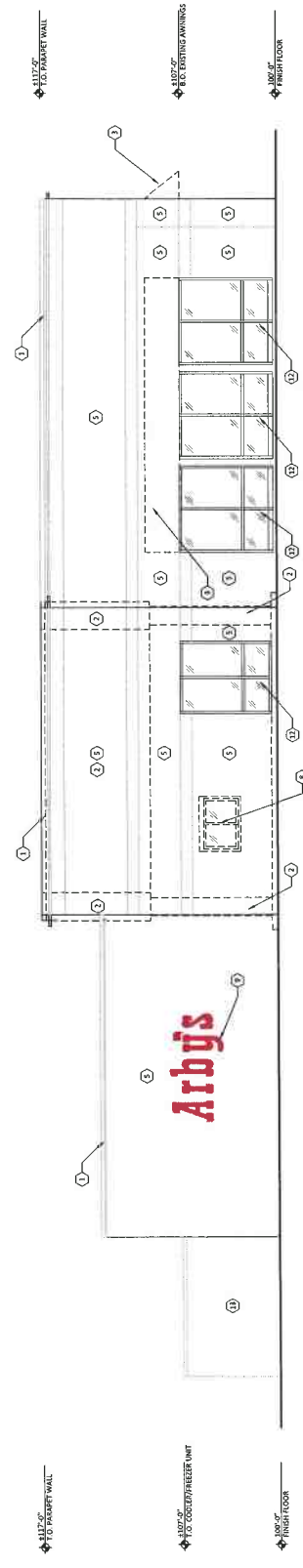
**ARBY'S RESTAURANT - #1655**  
 BUILDING REMODEL  
 1221 CIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.  
 PROJECT NUMBER: AR6620  
 DATE: 05.15.24  
 DRAWN: 06.30.24  
 PROJECT: 06.31.24

- CODED NOTES**
- REPAINT EXISTING METAL COPING.
  - REMOVE EXISTING DRIVE THRU OVERHANG AND COLUMNS COMPLETELY.
  - REMOVE EXISTING AWNINGS.
  - NOT USED.
  - REMOVE EXISTING SIGNAGE (S&P AS REQUIRED). PREPARE EXISTING SIGNAGE FOR REINSTALLATION. PREPARE FOR NEW SIGNAGE. SEE SHEET TO RECODE PAINT.
  - REMOVE EXISTING LIGHT PATCH AND REPAIR WALLS AS REQUIRED.
  - PREPARE DOOR FOR NEW PAINT.
  - REMOVE EXISTING DRIVE THRU WINDOW.
  - REMOVE EXISTING ARBY'S SIGNAGE PATCH AND REPAIR WALLS AS REQUIRED. REMOVE SIGNAGE TO PREPARE FOR NEW FINISH.
  - NOT USED.
  - EXISTING DOWNSPOUT TO REMAIN.
  - EXISTING EXISTING COOLER/FREEZER TO BE PAINTED.
  - EXISTING GAS METER TO REMAIN. PREPARE FOR NEW PAINT.
  - REMOVE EXISTING ELECTRICAL EQUIPMENT TO REMAIN. PREPARE FOR NEW PAINT.
  - EXISTING DOOR AND FRAME TO REMAIN.
  - EXISTING DOWNSPOUT TO REMAIN. PREPARE FOR NEW PAINT.

NOTE: FIELD VERIFY EXISTING CONDITIONS. IF EXISTING FRAME ELEMENTS FROM EXISTING STRUCTURE ARE TO BE REUSED, THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION ADMINISTRATION.



**FRONT ELEVATION**  
 1/8" = 1'-0"



**SIDE ELEVATION**  
 1/8" = 1'-0"



CONTRACT NO. 12  
 PROJECT NO. 12  
 DATE: 08.11.24



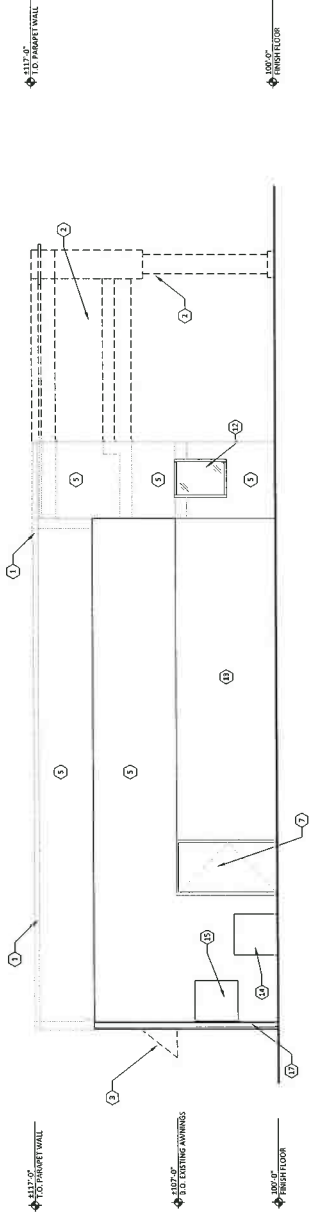
**ARBY'S RESTAURANT - #1655**  
 BUILDING REMODEL  
 1222 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER	ARBG020
ISSUANCE	08.11.24
DATE	08.30.24
PERMIT	08.21.24

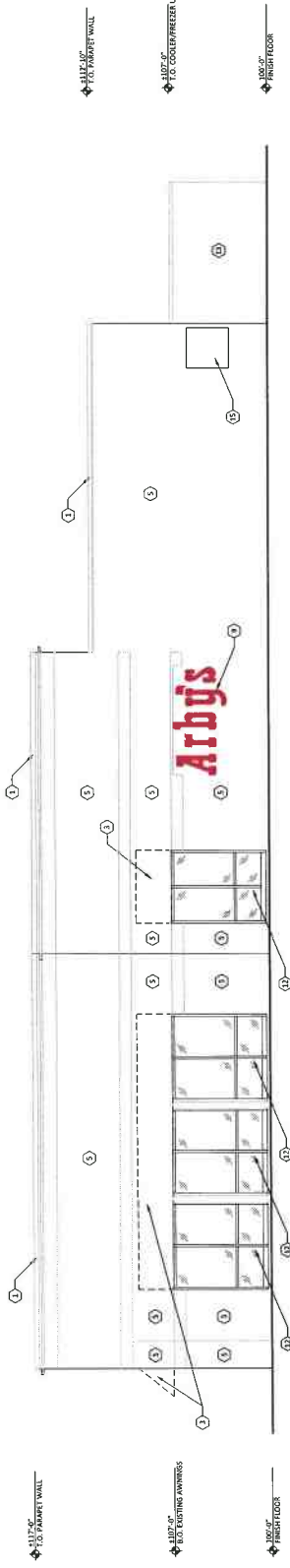
**DEMOITION ELEVATION**

- CODED NOTES**
1. REPAIR EXISTING METAL COPING.
  2. REMOVE EXISTING DRIVE THRU OVERHANGS AND COLUMNS COMPLETELY.
  3. PATCH EXISTING FINISHES.
  4. NOT USED.
  5. PATCH AND RECEIVE EXISTING EPS AS REQUIRED. PREPARE EXISTING EPS FINISH TO RECEIVE PAINT.
  6. REMOVE EXISTING LIGHT PAINT AND REPAIR WALLS AS REQUIRED.
  7. PREPARE DOOR FOR NEW PAINT.
  8. REMOVE EXISTING FINISHES TO REVEAL SUBSTRATE.
  9. REMOVE EXISTING ARBY'S STORAGE PATCHES AND REPAIR WALLS AS REQUIRED. PREPARE SURFACE TO RECEIVE NEW FINISH.
  10. NOT USED.
  11. NOT USED.
  12. EXISTING STOREFRONT TO REMAIN.
  13. PREPARE EXISTING COULDN'T FREEZE TO BE PAINTED.
  14. REMOVE EXISTING COULDN'T FREEZE TO BE PAINTED.
  15. EXISTING ELECTRICAL EQUIPMENT TO REMAIN. PREPARE FOR NEW PAINT.
  16. EXISTING DOOR AND FRAME TO REMAIN.
  17. EXISTING DOWNPOUT TO REMAIN. PREPARE FOR NEW PAINT.

**NOTE:**  
 ALL TO FIELD VERIFY EXISTING STRUCTURE. IF EXISTING FRAME IS DIFFERENT FROM RESPONSIBLE FOR CONSTRUCTION ADMIN.



**REAR ELEVATION**  
 1/8" = 1'-0"



**SIDE ELEVATION**  
 1/8" = 1'-0"



## MILLWORK NOTES

- PREPARE AND SUBMIT D.C. APPROVED SHOP DRAWINGS FOR ALL ITEMS OF MILLWORK TO THE OWNER FOR REVIEW AND APPROVAL. ALL MILLWORK SHALL BE FABRICATED TO FIT THE CONTRACTOR'S BACKSPLASH AND OTHER SCHEDULED WALLS OR PARTITIONS. DO NOT FABRICATE MILLWORK UNTIL ALL WALLS ARE COMPLETELY FINISHED.
- SPACING OF SUPPORT BRACKETS AND PROFILE FOR COUNTERTOPS SHALL BE APPROVED BY THE ARCHITECT. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- ALL MILLWORK ITEMS SHALL BE CEILING TO TOP OF WALL OR PARTITION. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- WOOD BRACKETS FOR SHELVES SHALL BE STAGGERED BETWEEN EACH METAL STUD BAY. ANY BRACKET HOLES SHALL BE DRILLED BY THE CABINETWORK FABRICATOR ONLY. CORNER JOINT LOCATION WITH OWNER.
- SEAL ALL MILLWORK TO ADJACENT SURFACES.

## EQUIPMENT NOTES

- COUNTER TOP EQUIPMENT SHALL BE ON A 4" HIGH LEGS, SEALED TO COUNTERTOP. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- SEAL ALL MILLWORK TO ADJACENT SURFACES. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- EQUIPMENT NOT ON COUNTERS SHALL BE SEALED TO THE WALL AND/OR THE FLOOR. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- ALL EQUIPMENT SHALL BE CEILING TO TOP OF WALL OR PARTITION. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
- SEAL ALL MILLWORK TO ADJACENT SURFACES. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS. PROVIDE BRACKETS FOR SUPPORT OF COUNTERTOP OVER WALLS AND PARTITIONS.
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## FINISH NOTES

- ALLOW WALLS TO DRY 72 HOURS BEFORE FINISHES. EXCEPT WHERE INDICATED OTHERWISE IN CONTRACT DOCUMENTS.
- APPLY FINISHES TO WALLS TO BE 4" MIN. IN EACH DIRECTION.
- REFER TO DECOR DRAWINGS FOR FINISHES.
- ALL WALLS TO BE FINISHED WITH SHEETS OF 3/4" PRIME PLY. SHEETS SHALL BE 4' x 8' IN SIZE. SHEETS SHALL BE APPLIED WITH A GULLER. REFER TO DECOR DRAWINGS FOR FINISHES.
- TRANSITION OF FLOOR MATERIAL TO OCCUR UNDER DOORS WHERE POSSIBLE.
- TRANSITION OF FLOOR MATERIAL TO OCCUR UNDER DOORS WHERE POSSIBLE.
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- TRANSITION OF FLOOR MATERIAL TO OCCUR UNDER DOORS WHERE POSSIBLE.

## GENERAL FLOOR PLAN NOTES

- VERIFY ALL UNBARRIERS WITH ARCHITECT.
- GENERAL CONTRACTOR TO PROVIDE ALL WALLS INDICATED ON FLOOR PLAN. PROVIDE 2x6 WOOD BLOCKING IN PARTITIONS TO SUPPORT ALL CROWN MOULDINGS, ELECTRICAL AND MECHANICAL DEVICES.
- ELECTRICAL CONTRACTOR TO CORRECT ALL LOCATIONS WITH INTERFERENCE WITH WOOD BLOCKING OR TO PROVIDE NEW WOOD BLOCKING IN ORDER TO PROTECT DEVICES FROM WALL FINISHES.
- GENERAL CONTRACTOR TO PATCH ALL ROOF PENETRATIONS MADE BY THIS PROJECT WITH APPROVED CONTRACTOR.
- GENERAL CONTRACTOR TO PROVIDE ALL ROOF PENETRATIONS WITH MECHANICAL EQUIPMENT TO BE PATCHED BY APPROVED CONTRACTOR WITH MECHANICAL CONTRACTOR'S REQUIREMENTS.
- SEE SECTION 4.1 FOR WALL LOCATIONS AND DETAILS.
- SEE DECOR DRAWINGS FOR FINISH SPECIFICATIONS AND PLAN.
- SEE SHEET A.1 FOR REFLECTED CEILING PLAN.
- SEE SHEET A.2 FOR WINDOW SCHEDULE.
- VERIFY ALL WINDOW SCHEDULES BEFORE ROUGHING ALL COMPLETED & O.P.F. DEVICES ARE TO BE INSTALLED.
- ELECTRICAL CONTRACTOR TO CORRECT ALL LOCATIONS WITH INTERFERENCE WITH WOOD BLOCKING OR TO PROVIDE NEW WOOD BLOCKING IN ORDER TO PROTECT DEVICES FROM WALL FINISHES.
- MECHANICAL CONTRACTOR TO CORRECT ALL LOCATIONS WITH INTERFERENCE WITH WOOD BLOCKING OR TO PROVIDE NEW WOOD BLOCKING IN ORDER TO PROTECT DEVICES FROM WALL FINISHES.
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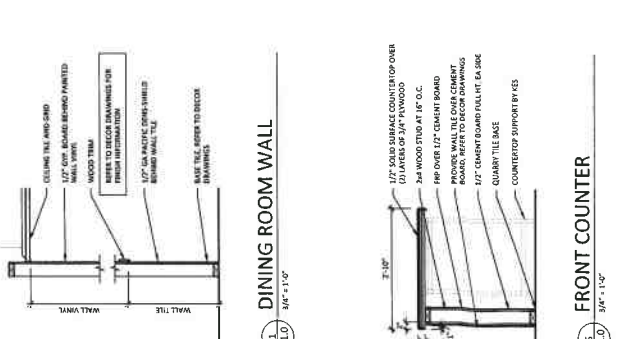
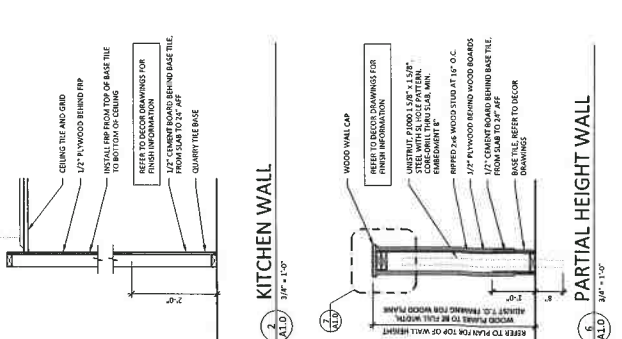
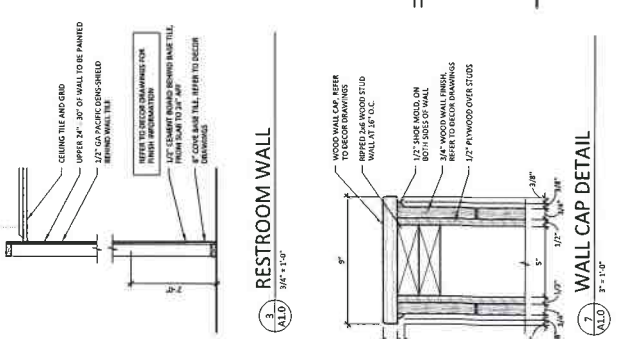
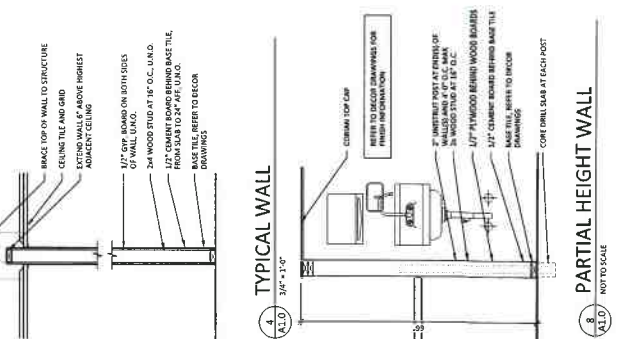
Red Architecture  
589 W. NATIONWIDE BLDG. SUITE B, COLUMBUS, OHIO 43215  
PHONE 614.487.8720 REDARCHITECTURE.COM



Arby's  
CONSTRUCTION GROUP, INC.  
1221 CLIFTON DR  
MADISON, IN 47250

PROJECT NUMBER  
ARB6220  
JOB NUMBER  
50  
ISSUANCE  
05.15.24  
OR  
06.20.24  
PLANET  
06.23.24  
SHEET NAME & NUMBER  
WALL TYPES  
A1.0

FOR: INSPIRE BRANDS INC.  
ARB'S RESTAURANT - #1655  
BUILDING REMODEL  
1221 CLIFTON DR  
MADISON, IN 47250





ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.



ARBY'S RESTAURANT - #1655  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER: AR6520  
 ISSUANCE: 06.15.24  
 DATE: 06.30.24  
 PERMIT: 06.31.24

SHEET NAME & NUMBER

ARCHITECTURAL FLOOR PLAN

A1.1

### ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALL	CILING	COMMENTS
100	RESTROOM	CT**	CT	WMSB	ACT	REFER TO DECOR DRAWINGS
101	RESTROOM	CT**	CT	WMSB	ACT	REFER TO DECOR DRAWINGS
102	DINING	CT**	CT	WMSB	ACT	REFER TO DECOR DRAWINGS
103	COUNTER AREA	CT**	CT	WMSB	ACT	REFER TO DECOR DRAWINGS
104	SERVICE AREA	(R)OT	(R)OT	WMSB	WFP	CLEAN AND PAINT (E) FFP
105	DRINK TRIM	(R)OT	(R)OT	WMSB	WFP	CLEAN AND PAINT (E) FFP
106	KITCHEN	(R)OT	(R)OT	WMSB	(E)VP	CLEAN AND PAINT (E) FFP
107	COOLER	CONC	CONC	INSULATED METAL PANEL	EXISTING TO REMAIN	
108	PIZZERIA	CONC	INSULATED METAL PANEL	EXISTING TO REMAIN		
109	SMOKER'S RESTROOM	CT**	CT	(E)UP	SVY038 - TOWN TAPE	
110	SMOKER'S RESTROOM	CT**	CT	(E)UP	SVY038 - TOWN TAPE	

CT\*\* = CONCRETE FLOOR, CONCRETE WALL, CONCRETE CEILING  
 (R)OT = REINFORCED CONCRETE FLOOR, REINFORCED CONCRETE WALL, REINFORCED CONCRETE CEILING  
 CONC = CONCRETE FLOOR, CONCRETE WALL, CONCRETE CEILING  
 WMSB = WALL COVERING, SCHEDULED ON THIS SHEET  
 ACT = ACoustic TREATMENT, SCHEDULED ON THIS SHEET  
 WFP = WALL FINISH, SCHEDULED ON THIS SHEET  
 (E)VP = EXISTING WALL, VERIFIED IN FIELD ASB  
 (E)UP = EXISTING WALL, VERIFIED IN FIELD ASB  
 SVY038 = TOWN TAPE, SCHEDULED ON THIS SHEET  
 INSULATED METAL PANEL = INSULATED METAL PANEL, SCHEDULED ON THIS SHEET  
 \*\*COORDINATE FROM FLOOR FINISH WITH DOWNER\*\*

### SYMBOL LEGEND

(C)	FLOOR PLAN COORDINATE
(S)	SEE SCHEDULE ON THIS SHEET
(M)	SEE SCHEDULE ON THIS SHEET
(W)	SEE SCHEDULE ON THIS SHEET
(E)	SEE SCHEDULE ON THIS SHEET

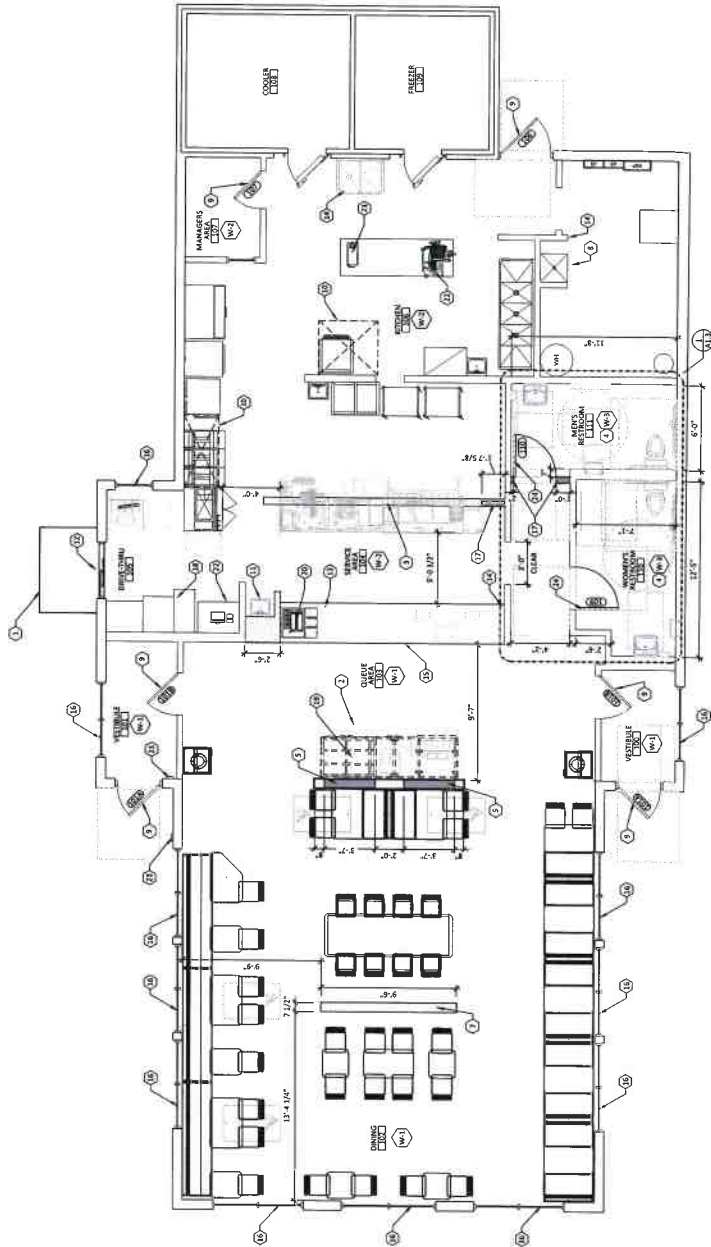
### WALL TYPES

MARK	DESCRIPTION
(W1)	DINING ROOM WALLS
(W2)	RESTROOM WALLS
(W3)	RESTROOM WALLS
(W4)	RESTROOM WALLS
(W5)	RESTROOM WALLS

### WALL LEGEND

(---)	EXISTING WALL TO REMAIN
(---)	NEW WALL/PARTITION
(---)	PARTIAL HEIGHT WALL

- ### CODED NOTES
- EXISTING WALL TO REMAIN. REFER TO CANNOPY EXTERIOR DRAWINGS.
  - SEE SINK DRINK STATION AND COUNTER BAR. TO ACE COUNTER VERIFY EXISTING LOCATION. REFER TO DECOR DRAWINGS. FIELD TO BE SET AT 1/4" A.G.T. MAX. REFER TO DECOR DRAWINGS. FIELD VERIFY EXISTING LOCATION. REFER TO DECOR DRAWINGS.
  - INSTALL NEW PRODUCTION COUNTER.
  - REMOVE RESTROOM FLOORING FIXTURES AND ACCESSORIES. REFER TO DECOR DRAWINGS.
  - INSTALL CEILING WALL. REFER TO DECOR DRAWINGS.
  - REMOVE EXISTING COUNTER AND UNDERCOUNTER EQUIPMENT AND SHELVING.
  - INSTALL NEW 2X WOOD STUD HALF WALL.
  - EXISTING MFP SINK LOCATION.
  - EXISTING SINK TO REMAIN. (S) VERIFY IN FIELD ASB. COMPLIANCE PRIOR TO START OF WORK.
  - EXISTING HOOD TO REMAIN.
  - NEW HAND SINK. REFER TO PLUMBING DRAWINGS.
  - INSTALL NEW DRINK TRIM WINDOW IN EXISTING OPENING.
  - RELOCATE EXISTING SINK.
  - INSTALL NEW MFP SINK. REFER TO PLUMBING DRAWINGS.
  - INSTALL NEW SALES COUNTER.
  - EXISTING TO REMAIN TO REMAIN. REPAIR STERILIZATION GLASS WHERE NECESSARY. COORDINATE WITH OWNER.
  - INSTALL NEW 2X WOOD STUD WALL.
  - EXISTING SHANK MACHINE AND STAND TO REMAIN.
  - REINSTALL EXISTING SODA AND ICE MACHINE BY SODA VENDOR.
  - REINSTALL EXISTING DRINKWARE RUMBLER AT NEW SALES COUNTER.
  - RELOCATE EXISTING COFFEE MACHINE.
  - REMOVE SINKER AND PANEL. VERIFY LOCATION OF POWER SUPPLY IN FIELD.
  - INSTALL A.D.A. PUSH BUTTON SYSTEM FOR EXTERIOR DOOR. CONNECT POWER TO EXISTING DOOR.
  - INSTALL NEW DOOR IN NEW FRAME. REFER TO A.1.1.



ARCHITECTURAL FLOOR PLAN  
 1/8" = 1'-0"



CONTRACT NO. 15-000001  
 DATE: 05.15.24  
 PROJECT: ARBY'S RESTAURANT - #1655



ARBY'S RESTAURANT - #1655  
 BUILDING REMODEL  
 1221 CLIFT DR  
 MADISON, IN 4750  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER: ARB820  
 ISSUANCE: 05.15.24  
 OR: 06.10.24  
 PRINT: 06.11.24

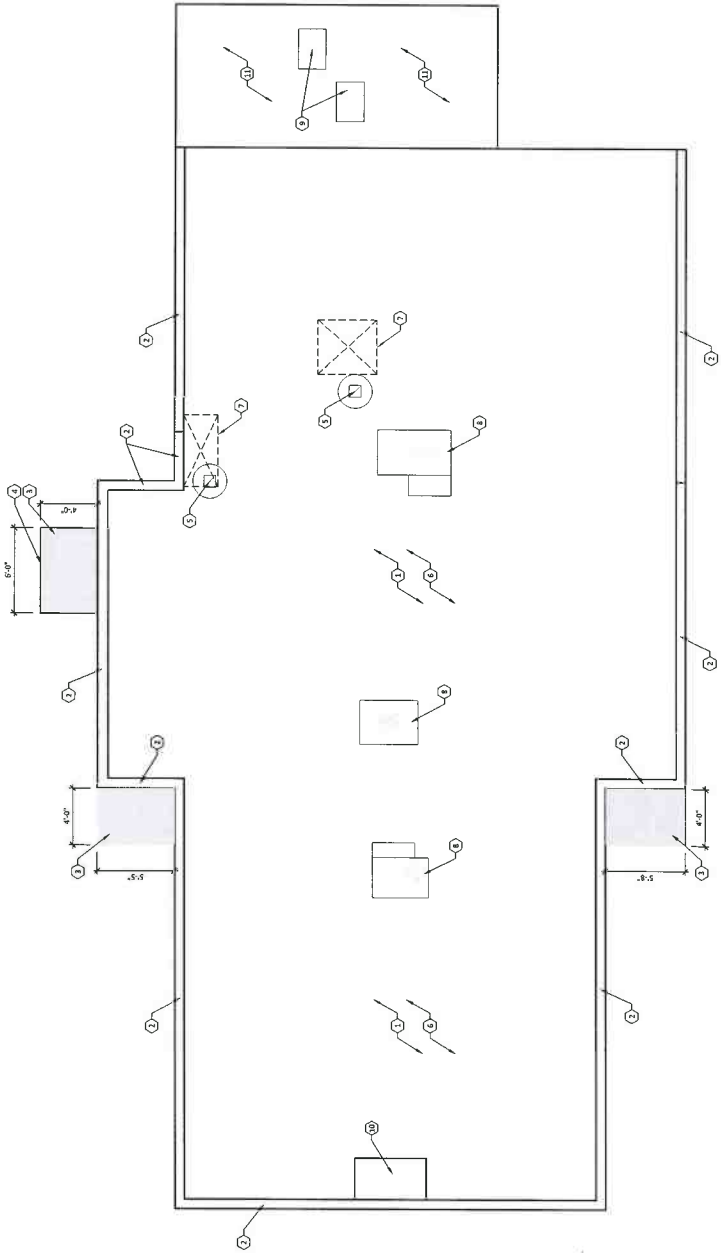
SHEET NAME & NUMBER: ROOF PLAN

A1.2

- CODED NOTES**
- EXISTING ROOF TO REMAIN. REPAIR WHERE REQUIRED.
  - REFINISHED METAL COPING, OVERLAP SPANS 1 1/2" MIN. AT ALL JOINTS. REFER TO ELEVATION FOR COLOR.
  - CANOPY - REFER TO CANOPY VENDOR DRAWINGS.
  - CENTER DRIVE THRU CANOPY OVER DRIVE THRU WINDOW.
  - EXISTING EXHAUST FAN TO REMAIN.
  - SC TO MAINTAIN EXISTING ROOF/STORM DRAINAGE SYSTEM, MODIFY AS REQUIRED FOR NEW WORK.
  - LINE UP EXISTING MOOR BELOW. REFER TO MECHANICAL DRAWINGS.
  - EXISTING ROOF TOP UNIT TO REMAIN.
  - EXISTING CONDENSER TO REMAIN.
  - EXISTING SLOPE AT Pinnacle STRUCTURE TO REMAIN.
  - EXISTING CONDENSER AND FREEZER TO REMAIN.

- GENERAL ROOF NOTES**
- INSULATION TO REMAIN. SINGLE PLY MEMBRANE OVER IRIGID INSULATION.
  - EXISTING STRUCTURE ARE 2" DEEP WOOD TRUSSES AT 24" O.C. WITH A 3/4" PLYWOOD DECK.
  - ALL EQUIPMENT ON ROOF IS EXISTING TO REMAIN. EXISTING EQUIPMENT TO BE SERVICED AND REPAIRED AS REQUIRED.
  - EXISTING ROOF DRAINAGE TO REMAIN. CLEAN DEBRIS FROM ROOF. EXISTING ROOF LEADERS TO BE CLEANED OF ANY OBSTRUCTION. IF EXISTING ROOF LEADERS ARE DAMAGED, THE GC IS TO REPAIR/REPLACE THEM.
  - ACCENT BAND AND CANopies ARE SHOWN FOR DESIGN INTENT AND ARE FOR INFORMATION ONLY. REFER TO ACCENT BAND/CANOPY SHOP DRAWINGS FOR PATTERING, ACCENT BAND AND CANOPY TO EXISTING ROOF. MOOR THE WALL SHOWN, UNLESS A WALL MOOR IS SHOWN AS REQUIRED. WRAP FLASHING UP AND OVER PARAPET WALL. VENTS TO BE BEHIND REFINISHED METAL COPING. REFER TO WALL SECTIONS.

- CANOPY NOTES**
- REFER TO CANOPY VENDOR DRAWINGS FOR MATERIALS, FINISHES AND DIMENSIONS. REFER TO ACCENT BAND/CANOPY SHOP DRAWINGS FOR PATTERING, ACCENT BAND AND CANOPY TO EXISTING ROOF. MOOR THE WALL SHOWN, UNLESS A WALL MOOR IS SHOWN AS REQUIRED. WRAP FLASHING UP AND OVER PARAPET WALL. VENTS TO BE BEHIND REFINISHED METAL COPING. REFER TO WALL SECTIONS.



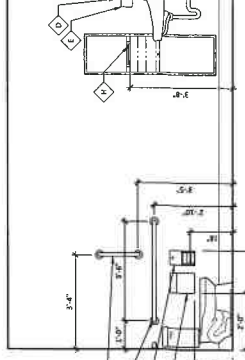
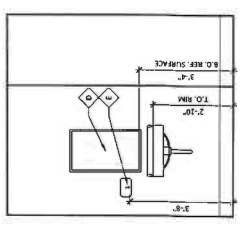
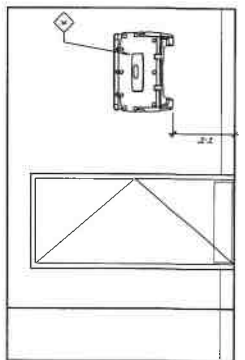
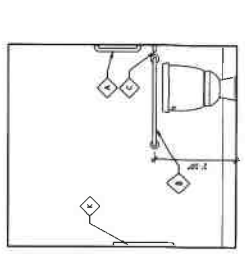
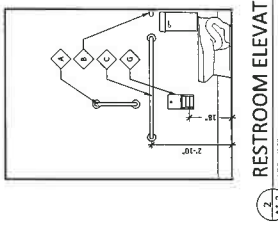
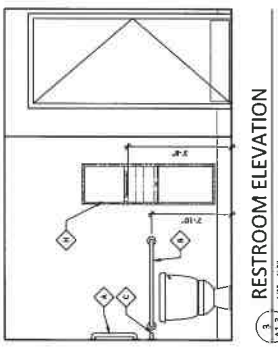
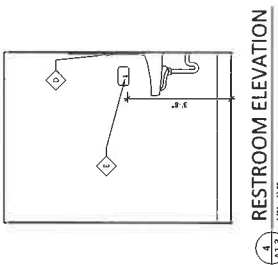
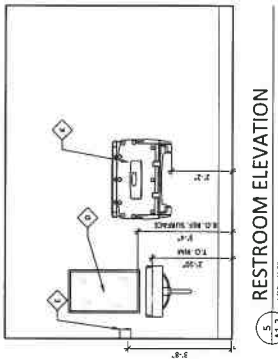
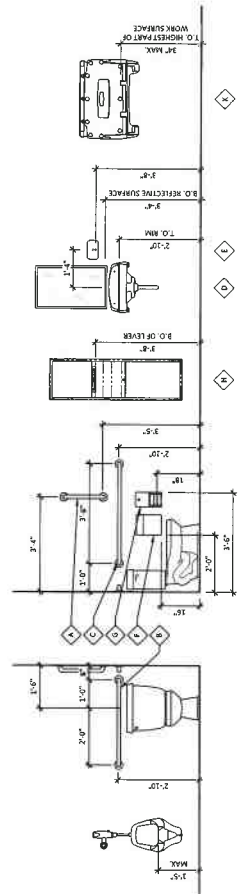
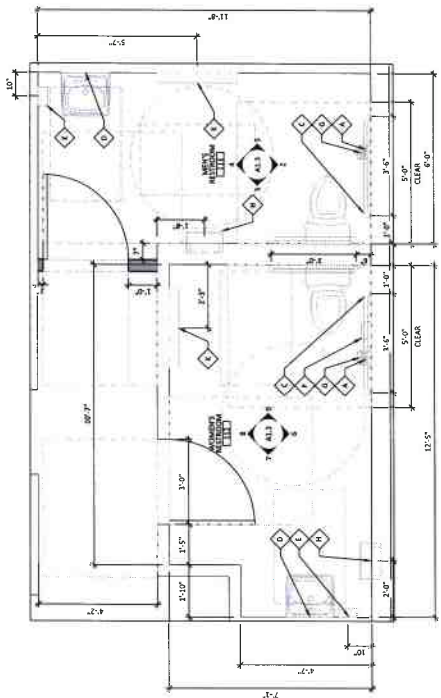
ROOF PLAN  
 1/8" = 1'-0"



RESTROOM ACCESSORIES	
DESCRIPTION/MANUFACTURER	NOTES
GRAB BAR 315 BOBBICK 8-350	MOUNT AT 37" A.F.F. TO BOTTOM OF BAR
GRAB BAR 317 BOBBICK 8-350	MOUNT AT 31"-36" A.F.F. TO TOP OF GRIPPING SURFACE
GRAB BAR 327 BOBBICK 8-350	MOUNT AT 31"-36" A.F.F. TO TOP OF GRIPPING SURFACE
GRAB BAR 328 BOBBICK 8-350	MOUNT AT 40" A.F.F. TO BOTTOM OF REFLECTING SURFACE
GRAB BAR 329 BOBBICK 8-350	MOUNT AT 48" A.F.F. TO TOP (PROVIDED BY OWNER)
SOAP DISPENSER, SURFACE MOUNTED BOBBICK 8-370	MOUNT AT 30" A.F.F. TO TOP
SAVING PAPER RECEPTACLE, SURFACE MOUNTED BOBBICK 8-388	MOUNT AT 15" A.F.F. TO OUTLET OF DISPENSER
PAPER TOWEL DISPENSER, RECESSED, BATTERY POWERED BOBBICK 8-394	MOUNT AT 48" A.F.F. MAX TO OUTLET OF DISPENSER (PROVIDED BY OWNER)
EMERGENCY CHANGING STATION HUBBARD - 1518B HUBBARD, 318 88 HUBBARD	CENTERLINE OF MOUNTING BRACKET TO BE AT 49" A.F.F.

**GENERAL FLOOR PLAN NOTES**

- CONTRACTOR TO PROVIDE ELECTIONS FOR ACCESSORY MOUNTING AS REQUIRED.
- ALL WALLS AND CEILING SHALL BE INSULATED. INSULATION TO BE 1/2" THICK "MOVEMENT" R17 JOINTS MAY VARY ON CEILING.
- ALL TOILET ACCESSORY FIXTURES TO BE SATIN STAINLESS STEEL.
- RESTROOM DESIGN TO MEET ICC AND COUNTY WITH VICARMS 117.1 AND ADAAG 300 AND ACCESSIBILITY CODE.
- TOWEL DISPENSERS/SHAM CAN BE PROVIDED BY OWNER INSTALLED BY G.C. PAPER TOWEL DISPENSER TO PROJECT LESS THAN 4" INTO ROOM IF THE UNITS LOCATED IN THE CIRCULATION PATH.
- G.C. TO PROVIDE MINIMUM CLEARANCE OF 80" TO THE CENTERLINE OF THE TOILET. THE EDGE OF DIFFERENT ACCESSORIES THAT THE UNITS SPECIFIED SHOULD BE DONE IN ACCORDANCE WITH THE APPLICABLE ACCESSIBILITY CODES WILL BE CORRECTED BY THE G.C. WITH NO ADDITIONAL COMPENSATION.
- FRESH WALL.



RESTROOM ELEVATION 9  
 1/8" = 1'-0"

RESTROOM ELEVATION 8  
 1/8" = 1'-0"

RESTROOM ELEVATION 7  
 1/8" = 1'-0"

RESTROOM ELEVATION 6  
 1/8" = 1'-0"



ARBY'S RESTAURANT - #1655  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER: AR000000  
 ISSUE: 02.21.24  
 OR: 06.20.24  
 PERMIT: 06.21.24

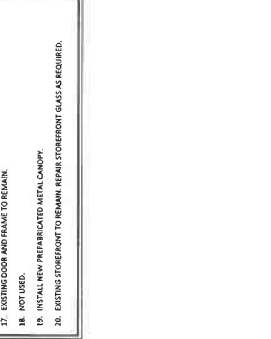
SHEET NAME & NUMBER: EXTERIOR ELEVATIONS  
 A2.1

### FINISH SCHEDULE

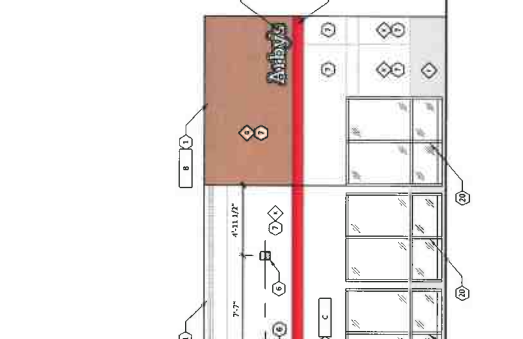
MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
4	NOT USED	---	---
5	NOT USED	---	---
6	NOT USED	---	---
7	NOT USED	---	---
8	SHERWIN WILLIAMS	SW METALFLAKE PPG ARBY'S LOGO RED	SATIN FINISH
9	NOT USED	---	---
10	SHERWIN WILLIAMS	SW P224 FUNCTIONAL GRAY OR PPG 1066-4 - METALFLAKE	SATIN FINISH
11	SHERWIN WILLIAMS	SW P408 BROWNWOOD DARK BROWN OR PPG 8327-7 - CHOCOLATE SPINEL	SATIN FINISH
12	NOT USED	---	---
13	NOT USED	---	---
14	SHERWIN WILLIAMS	SW P007 PURE WHITE OR PPG 1001-1 - DELICATE WHITE	SATIN FINISH
<b>METALS</b>			
A	EXCEPTIONAL DURALAST	TWO-PHASE SMP-ON-METAL COATING REGAL WHITE DURALAST PREREST/7	FOR USE WITH DURALAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL DURALAST	TWO-PHASE SMP-ON-METAL COATING DARK BRONZE DURALAST PR4707/7	FOR USE WITH DURALAST ROOFING SYSTEM DETAIL FA311P
C	PRE-FABRICATED CORRUGATED	PRODUCT CODE: 8940-D018H PRODUCT NAME: ECOSPAN 3000 FLAKE RED	THIN FRAMES TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
D	NOT USED	---	---

1. PAINT ALL EXPOSED METALS, SERVICE ENTRANCES, GAS PIPES, ROOF ACCESS DOOR, ETC., "9".
2. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
3. ALUMINUM STOREFRONT TO MATCH EXISTING.
4. ALL GLAZING TO BE 1" INSULATED GLAZING.
5. BASIS OF DESIGN FOR THE EPS WALL SYSTEM IS DRYWIT GUTTERLITE PLUS-ING. EPS WALL SYSTEM IS 8" THICK UNLESS NOTED OTHERWISE. INSTALL EPS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
6. SOMEGE IS SHOWN FOR REFERENCE ONLY. FINAL SELL LOCATION AND QUANTITY TO BE DETERMINED BY SOMEGE VENDOR. SOMEGE VENDOR SHALL PERMIT ALL SIRS UNDER 20 MILE COVER.
7. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
8. ALL ROOF TOP UNITS ARE TO BE SCREENED FROM VIEW ON ALL SIDES.

- ### CODED NOTES
- ALL CODED NOTES SHALL NOT BE USED
1. PAINT EXISTING METAL COILING.
  2. SCRAPE AND PAINT EXISTING PAINTING.
  3. INSTALL ARBY'S LIKE SIGN. REFER TO SOMEGE VENDOR DRAWINGS.
  4. INSTALL ARBY'S LETTERSET ABOVE RED ACCENT BAND.
  5. PAINTED ACCENT BAND.
  6. NEW WALL MOUNTED LIGHT FIXTURE.
  7. PATCH REPAIR AND PAINT EXISTING WALL.
  8. PAINT EXISTING BOLLARD.
  9. INSTALL NEW DRYS-TRUS WINDOW IN EXISTING OPENING.
  10. NEW PAINT LINE.
  11. NOT USED.
  12. TRIM DOWN COLUMN FINISH, PATCH AND REPAIR TO RECEIVE NEW EPS FINISH.
  13. CENTER DRIVE TRUS WINDOW OVER DRIVE THRU WINDOW.
  14. EXISTING DOOR AND FRAME TO REMAIN AND RECEIVE PAINT.
  15. EXISTING GLAZING TO REMAIN AND RECEIVE PAINT.
  16. EXISTING ELECTRICAL EQUIPMENT TO REMAIN AND RECEIVE PAINT.
  17. EXISTING DOOR AND FRAME TO REMAIN.
  18. NOT USED.
  19. INSTALL NEW PRE-PAVED METAL CANOPY.
  20. EXISTING STOREFRONT TO REMAIN. REPAIR STOREFRONT GLASS AS REQUIRED.



1 FRONT ELEVATION  
 1/4" = 1'-0"

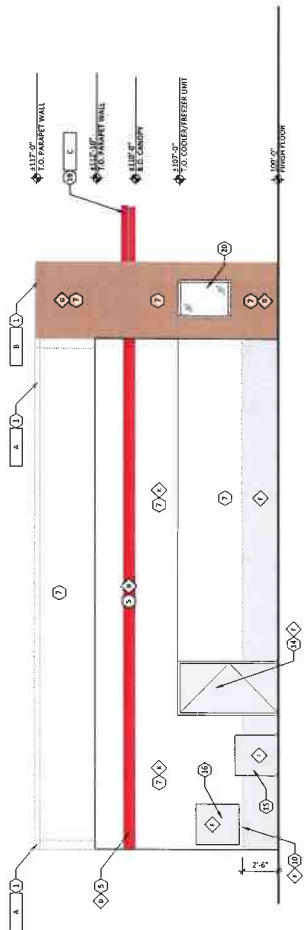


2 SIDE ELEVATION  
 3/4" = 1'-0"

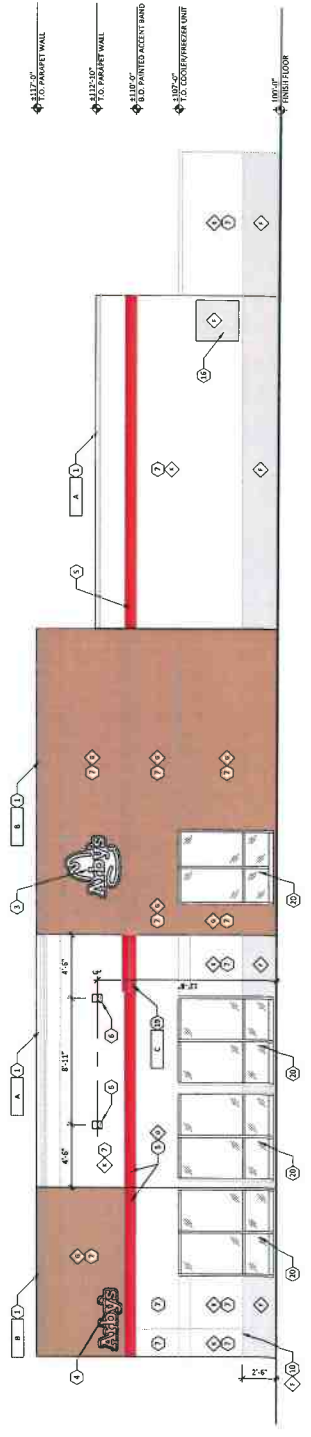


FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
◇	NOT USED	---	---
◇	NOT USED	---	---
◇	NOT USED	---	---
◇	NOT USED	---	---
◇	SHERWIN WILLIAMS	SW 4800 TOP OR PPG ARBY'S INSPIRE RED	SATIN FINISH
◇	NOT USED	---	---
◇	SHERWIN WILLIAMS	SW 700M FUNCTIONAL GRAY OR PPG 2004-7-TRUCONCRETE	SATIN FINISH
◇	SHERWIN WILLIAMS	SW 700M FUNCTIONAL GRAY OR PPG 2004-7-TRUCONCRETE	SATIN FINISH
◇	NOT USED	---	---
◇	SHERWIN WILLIAMS	SW 7000 PURE WHITE OR PPG 2001-1-DELICATE WHITE	SATIN FINISH
<b>METALS</b>			
A	EXCEL DURAL	TWO-PIECE ZINC-ON-METAL COPING	FOR USE WITH DUAL-LAT ROOFING SYSTEM (DETAIL F-1)
B	EXCEL DURAL	METAL WHITE DUAL-LAT RIDGE/PEAK	FOR USE WITH DUAL-LAT ROOFING SYSTEM (DETAIL F-1)
C	EXCEL DURAL	TWO-PIECE ZINC-ON-METAL COPING AND BRONZE DUAL-LAT RIDGE/PEAK	FOR USE WITH DUAL-LAT ROOFING SYSTEM (DETAIL F-1)
D	NOT USED	---	---
<ol style="list-style-type: none"> <li>1. PAINT ALL EXPOSED METALS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDERS, ETC. "P".</li> <li>2. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.</li> <li>3. ALUMINUM STOREFRONT TO MATCH EXISTING.</li> <li>4. ALL GLAZING TO BE 1" INSULATED GLAZING.</li> <li>5. MARK OF BENCHMARK FOR THE EIFS WALL SYSTEM IS DRIVET OUTLINATION PLUS 60". EIFS WALL SYSTEM IS 2" THICK UNLESS OTHERWISE NOTED. INSTALL PER PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.</li> <li>6. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL VERIFY ALL SIGNS UNDER SEPARATE COVER.</li> <li>7. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.</li> <li>8. ALL ROOF TOP UNITS ARE TO BE SCREENED FROM VIEW ON ALL SIDES.</li> </ol>			

- CODED NOTES** (X) ALL CODED NOTES MAY NOT BE USED.
1. PAINT EXISTING METAL COPING.
  2. SCRAPE AND PAINT EXISTING SAILING.
  3. INSTALL ARBY'S SIGN NEETS TO SIGNAGE VENDOR DRAWINGS.
  4. INSTALL ARBY'S LETTERS ABOVE RED ACCENT BAND.
  5. PAINTED ACCENT BAND.
  6. NEW WALL MOUNTED LIGHT FIXTURE.
  7. PATCH, REPAIR, AND PAINT EXISTING WALL.
  8. PAINT EXISTING BOLLARD.
  9. INSTALL NEW DRIVE THRU WINDOW IN EXISTING OPENING.
  10. NEW PAINT LINE.
  11. NOT USED.
  12. TRIM DOWN COLUMN FINISH, PATCH AND REPAIR TO RECEIVE NEW EIFS FINISH.
  13. CENTER DRIVE THRU CANYOT OVERHANG THRU WINDOW.
  14. EXISTING DOOR AND FRAME TO REMAIN AND RECEIVE PAINT.
  15. EXISTING GAS METER TO REMAIN AND RECEIVE PAINT.
  16. EXISTING ELECTRICAL EQUIPMENT TO REMAIN AND RECEIVE PAINT.
  17. EXISTING DOOR AND FRAME TO REMAIN.
  18. NOT USED.
  19. INSTALL NEW PRE-FABRICATED METAL CANOPY.
  20. EXISTING STOREFRONT TO REMAIN, REPAIR STOREFRONT GLASS AS REQUIRED.



REAR ELEVATION  
 1/4" = 1'-0"



SIDE ELEVATION  
 1/4" = 1'-0"

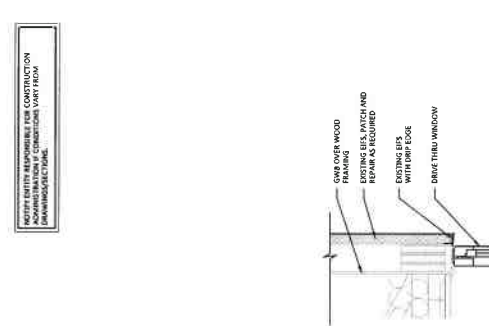
OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. CONSTRUCTION METHODS AND MATERIALS MAY VARY FROM THE ARCHITECTURAL DRAWINGS.



**ARBY'S RESTAURANT - #1655**  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER	AR0200
ISSUANCE	05.13.24
DATE	06.20.24
PERMIT	06.21.24

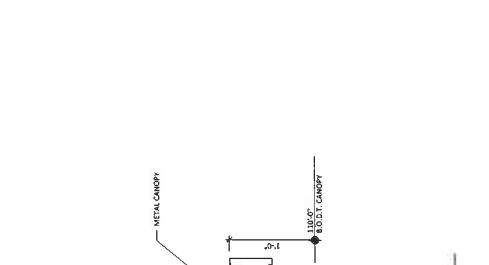
**A4.1**  
 WALL SECTIONS



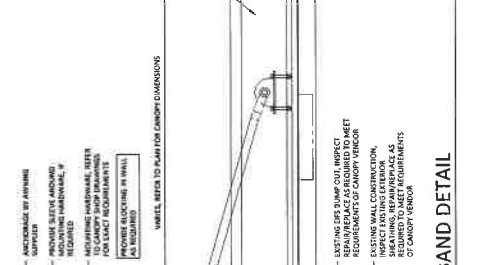
1 SECTION DETAIL  
1/2" = 1'-0"



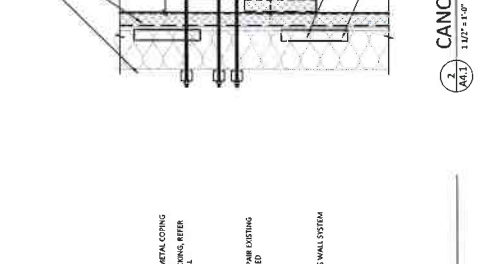
2 CANOPY BAND DETAIL  
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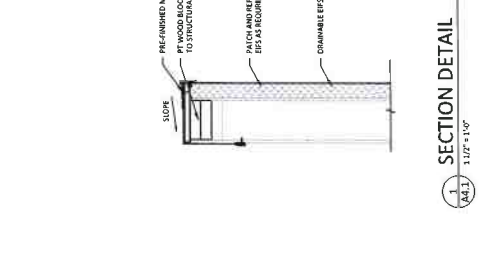
3 HEAD DETAIL  
1/2" = 1'-0"



4 JAMB DETAIL  
1/2" = 1'-0"



5 WALL SECTION  
1/2" = 1'-0"



4 WALL SECTION  
1/2" = 1'-0"



3 WALL SECTION  
1/2" = 1'-0"



5 WALL SECTION  
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4 WALL SECTION  
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5 WALL SECTION  
1/2" = 1'-0"



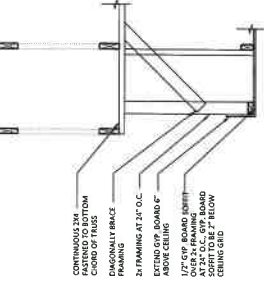
4 WALL SECTION  
1/2" = 1'-0"



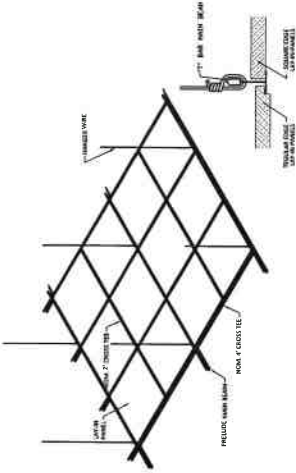
3 WALL SECTION  
1/2" = 1'-0"



5 WALL SECTION  
1/2" = 1'-0"



2. SECTION DETAIL - SOFFIT  
1/4" = 1'-0"



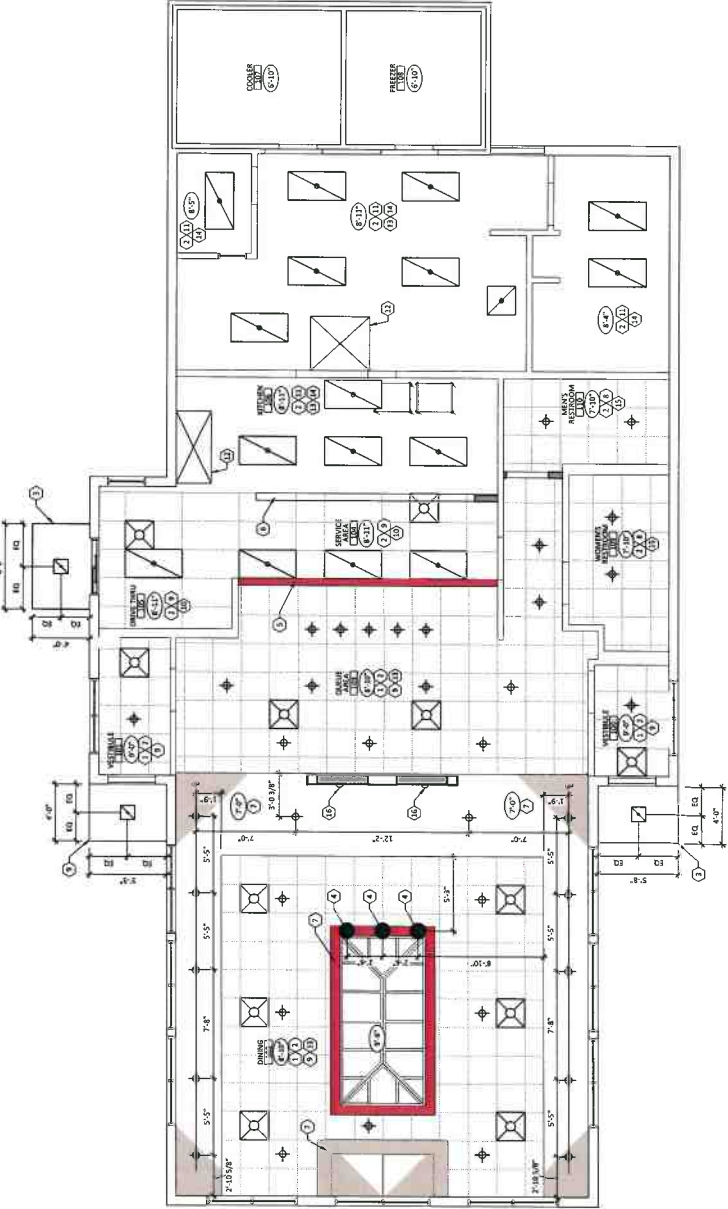
3. SEISMIC GRID SUSPENSION DETAIL  
1/4" = 1'-0"

- ### CODED NOTES
- 2-2 SUSPENDED CEILING TILE IN NEW GRID. REFER TO DECOR DRAWINGS FOR FINISHES. ALL CEILING HEIGHTS SHOWN TO NEW CEILING GRID. COORDINATE WITH OWNER AND REFER TO MECHANICAL DRAWINGS FOR REGISTERABLES.
  - REPLACE EXISTING LIGHT FIXTURES WITH LED LIGHTS. COORDINATE WITH OWNER AND REFER TO ELECTRICAL DRAWINGS.
  - METAL CANOPY. REFER TO CANOPY VENDOR DRAWINGS.
  - INSTALL PENDANT LIGHTING. REFER TO DECOR DRAWINGS FOR FINISHES.
  - EXISTING BELIEVED TO REMAIN. REFER TO DECOR DRAWINGS FOR FINISHES.
  - EXISTING INTERIOR WOOD ROADS TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
  - EXISTING SOFFIT TO REMAIN. REFER TO DECOR DRAWINGS FOR FINISHES.
  - EXISTING BELIEVED TO REMAIN AND BE REFINISHED. COORDINATE WITH OWNER AND REFER TO MECHANICAL DRAWINGS.
  - REPLACE EXISTING GSI-SUSP. COORDINATE WITH OWNER AND REFER TO MECHANICAL DRAWINGS.
  - EXISTING CEILING TILE IN EXISTING GRID TO REMAIN. REPLACE AS DAMAGED TILE AS REQUIRED. COORDINATE WITH OWNER.
  - EXISTING HOOD TO REMAIN.
  - EXISTING REFRIGERS TO REMAIN. REPLACE DAMAGED AS REQUIRED. COORDINATE WITH OWNER.
  - EXISTING REFRIGERS AND SUPPLY VENTS TO REMAIN.
  - NEW 2x2 VFF TILE AND GRID.
  - INSTALL WALL SOURCE. REFER TO DECOR DRAWINGS.

- ### RCP GENERAL NOTES
- CENTER ACUSTIC CEILING SYSTEM GRID WITHIN EACH ROOM UNLESS NOTED OTHERWISE.
  - SEE MECHANICAL AND ELECTRICAL SHEETS FOR HVAC DUCTS AND LIGHT FIXTURE LOCATIONS.
  - ACUSTIC CEILING SYSTEM SHALL BE SYSTEMS OF 22 OR LESS 6" x 6" SQUARE DEVELOPMENT RATE OF 400 GALS PER SQ YD.
  - CONCEAL INSULATION TO MATCH EXISTING FRAMEWORK OF 2" OR LESS LESS & A SHADE DEVELOPMENT RATE OF 450 GALS PER SQ YD.
  - MATERIALS IN PENUM SPACES SHALL BE INCONSPICUOUS. OS SHALL DEVELOPED W/IDE OF NOT MORE THAN 1/8" PER OMC 602.1.4. SMOKE.
  - GENERAL CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, VENTS, CONDENSATES AND OTHER ITEMS LOCATED ABOVE FINISHED CEILING.
  - SEE ELECTRICAL DRAWINGS FOR SWITCHING AND CIRCUIT INFORMATION.
  - NEW W/ALL SOURCE. COORDINATE WITH OWNER AND REFER TO MECHANICAL DRAWINGS FOR FINISHES. ALL W/ALL OVER THE FINISHING AREA. DIMENSIONS ARE SUBJECT TO CHANGE BASED ON FINISHING LAYOUT.
  - CENTER RECESSED CAN LIGHT IN CEILING TILE UNLESS NOTED OTHERWISE.
  - HEADERS AND GIVE OVER WALL, FLOOR AND EXTEND 6" BELOW THE FINISH CEILING.
  - GENERAL CONTRACTOR TO VERIFY ALL EXISTING FINISHES AND FINISHING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. FILED UNDER SEPARATE PERMIT.
  - SHOWING AND CHANGES SHOWN FOR LOCATION ONLY AND ARE TO BE FILED UNDER SEPARATE PERMIT.
  - REFER TO DECOR DRAWINGS FOR ALL PENDANT AND DECORATIVE LIGHT FIXTURE LOCATIONS.
  - REFER TO MECHANICAL DRAWINGS FOR FINISHES. ALL W/ALL OVER THE FINISHING AREA. DIMENSIONS ARE SUBJECT TO CHANGE BASED ON FINISHING LAYOUT.

### RCP LEGEND

	2x2 GRID
	2x4 GRID
	2x6 GRID
	2x8 GRID
	2x10 GRID
	2x12 GRID
	2x14 GRID
	2x16 GRID
	2x18 GRID
	2x20 GRID
	2x22 GRID
	2x24 GRID
	2x26 GRID
	2x28 GRID
	2x30 GRID
	2x32 GRID
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	2x36 GRID
	2x38 GRID
	2x40 GRID
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	2x50 GRID
	2x52 GRID
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	2x60 GRID
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	2x66 GRID
	2x68 GRID
	2x70 GRID
	2x72 GRID
	2x74 GRID
	2x76 GRID
	2x78 GRID
	2x80 GRID
	2x82 GRID
	2x84 GRID
	2x86 GRID
	2x88 GRID
	2x90 GRID
	2x92 GRID
	2x94 GRID
	2x96 GRID
	2x98 GRID
	2x100 GRID



1. REFLECTED CEILING PLAN  
1/4" = 1'-0"







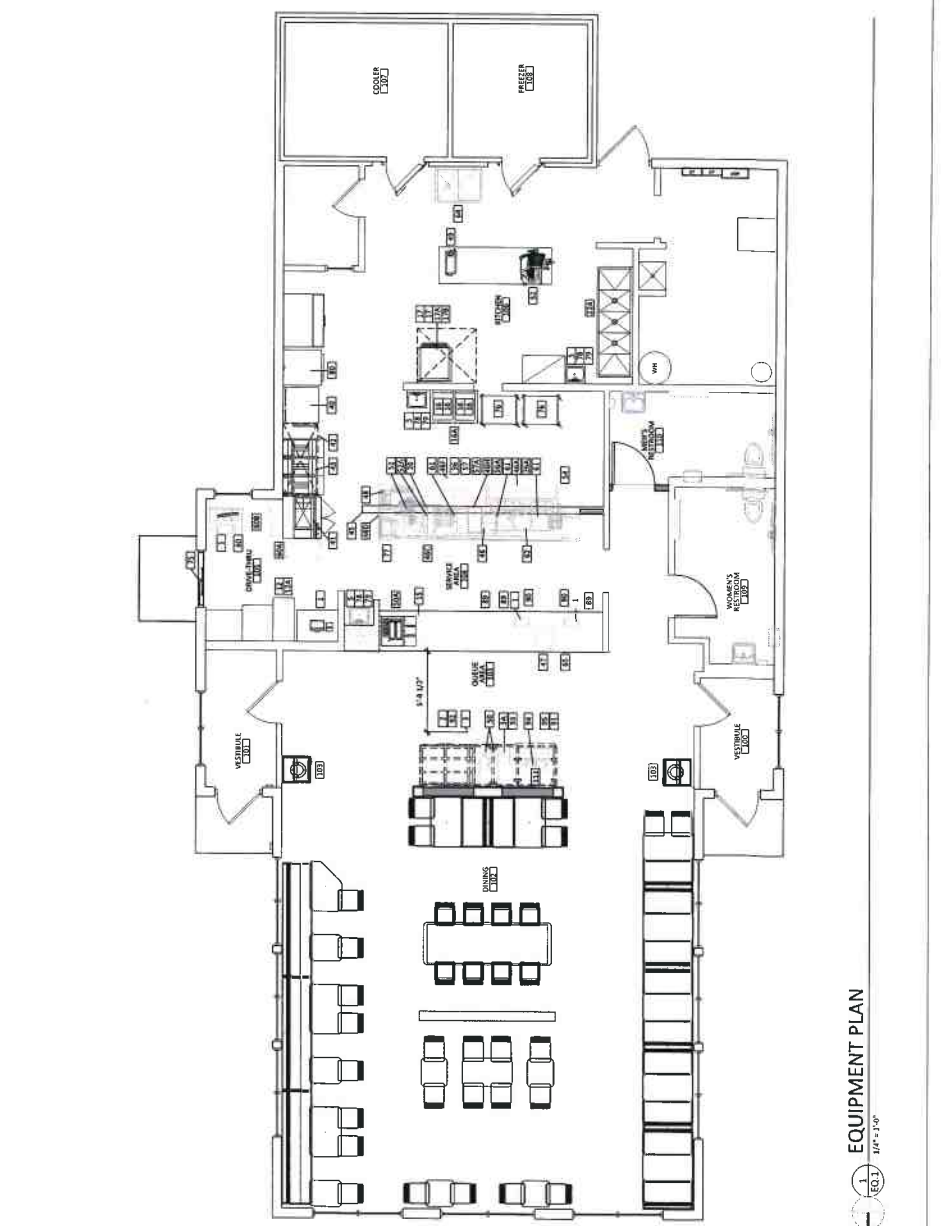


NO.	QTY.	ITEM	MANUF. AND MODEL NO.
50A	1	LEGHORN MACHINE	EXISTING TO REMAIN
52	2	SUCES	(I) RELOCATED EXISTING
52A	1	SUCKER HEAT LAMP	EXISTING TO REMAIN
53	1	PORTION SCALE (NOT SHOWN)	TAYLOR, MODEL #PH320
54	1	VERTICAL CHOPPER	RELOCATED EXISTING
55	2	CHEESE PUMP	(I) STAMPAFOR, #PP614-001, (I) DOWING
56	2	HEAT LAMP	(I) DOWING, #DOWING0001, BLACK
57	1	HEAT LAMP	(I) DOWING, #DOWING0001, BLACK
58	1	DRIVE THRU COUNTER	EXISTING TO REMAIN
60	1	WORK SMART DRIVE THRU CASHER STAND	EXISTING TO REMAIN
61	1	WORK SMART DRIVE THRU STAGING CART	METRO, #MBSL2076
66B	1	MERMASTER COMMERCIAL MODEL MOC24	MERMASTER COMMERCIAL MODEL MOC24
67	1	MAGNAXIAL OVEN	MAGNAXIAL, #S.2185, 2X2 HOLDINGS UNIT, 1.5L X 21.5L
68	1	HEATED HOLDING CABINET	EXISTING TO REMAIN
69	1	1 COMP. PREP SINK	EXISTING TO REMAIN
70	1	FRONT SERVICE COUNTER TOP	EXISTING TO REMAIN
71	1	AUTOMATIC DRIVE THRU WINDOW	QUICKRY, (I)B5-#B35E (R)
72	1	MANAGER CASH TOP	EXISTING TO REMAIN
73	1	2 SHOWER FLEX CABINET	EXISTING TO REMAIN
74	1	MOBILE BRAD BACK, ON CASTERS	RELOCATED EXISTING
75	1	AIR DIS SERVICE	SERVE, MODEL ST.1.0 ARBY'S #RE502, 1.64 X 1.05 SERVER
76	1	PAWS TONGUE DISPENSER	BY OWNER
77	1	LIQUID SOAP DISPENSER	BY OWNER
78	1	LIQUID SOAP DISPENSER	BY OWNER
79	1	STAND-UP PRY FREEZER	EXISTING TO REMAIN
80	1	BOILER CO2	EXISTING TO REMAIN
81	1	WATER BOOST MODULAR FILTER SYSTEM	WATER BOOST MODULAR FILTER SYSTEM
82	1	FRONT COUNTER SHELLING	EXISTING TO REMAIN
83	1	COFFEE DISPENSER CABINET	EXISTING TO REMAIN
84	1	ICE MACHINE (SEE CONTAINER)	EXISTING TO REMAIN
85	1	STRAW & LID HOLDER	EXISTING TO REMAIN
86	1	STRAW & LID HOLDER	EXISTING TO REMAIN
87	1	STRAW & LID HOLDER	EXISTING TO REMAIN
88	1	STRAW & LID HOLDER	EXISTING TO REMAIN
89	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
90	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
91	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
92	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
93	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
94	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
95	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
96	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
97	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
98	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
99	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
100	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
101	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
102	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
103	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
104	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
105	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
106	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
107	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
108	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
109	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
110	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN
111	1	EXISTING GRASS HOLDING TANK	EXISTING TO REMAIN

NO.	QTY.	ITEM	MANUF. AND MODEL NO.
40	1	RFI BASKET TRAY	EXISTING TO REMAIN
41	1	RFI DUMP	EXISTING TO REMAIN
42	1	RFI DUMP	EXISTING TO REMAIN
43	1	EXHAUST HOOD, FRYER	EXISTING TO REMAIN
44	1	3 BANK WET VAP NATURAL GAS	EXISTING TO REMAIN
45	1	COLD CARBONATOR	EXISTING TO REMAIN
46	1	MENU BOARD	RES. CUSTOM FAB ITEM
47	1	UNIVERSAL PRODUCTION COUNTER	BEVERAGE AIR, SPI #4-60M
48	1	60" TALL IN COOL WEL UNIT	BEVERAGE AIR, MODEL UC0207A-23-AR8
49	1	UNDERCOUNTER REFRIGERATED DRAWERS	AWA W007Y, MODEL #MO: 39, 1.2-24WAVE
50	1	WARRANTY DRAWER (OPTIONAL ADDITION)	RES. CUSTOM FAB ITEM
51	1	WARRANTY DRAWER (OPTIONAL ADDITION)	RES. CUSTOM FAB ITEM
52	1	DELIGHT LINK RAIL, 1/2"	DELIGHT LINK RAIL, 1/2"
53	1	TANWOOD CASE, 1/2"	TANWOOD CASE, 1/2"
54	1	SPANWOOD SLIDE, HEATED	RES. CUSTOM FAB ITEM
55	1	COFFEE MAKER	RELOCATED EXISTING
56	1	ICE TEA DISPENSER	(I) RELOCATED EXISTING, (I) EXISTING

NO.	QTY.	ITEM	MANUF. AND MODEL NO.
16A	1	COCA & WOOD FAN, FAN CONNECTION	RES. CARCO, MODEL #M74151A
17	2	DORMANT BEPS BIT #8	EXISTING TO REMAIN
17A	1	OVER TIMER	A.J. ANTUNES SOLAR TIMER MODEL #TTS-8-OT
18	1	4 COMP SINK EXISTING	EXISTING TO REMAIN
19	1	SHEDS ABOVE 3 COMP. SINK	EXISTING TO REMAIN
20	1	SHEDS ABOVE CLEAN OVER TABLE	EXISTING TO REMAIN
21	1	SINK WITH WARM WASHING	EXISTING TO REMAIN
22A	1	TABLET TABLE	EXISTING TO REMAIN
23	1	CLEAN LANDING CHAIR/BENCH	EXISTING TO REMAIN
24	1	KNIFE RACK	SANIMARK, #SAS-#85E SLAZON, 30X10X15 X 1.75 X 2.5" INCLUDED IN SMALLWARE ITEM
25	1	WATER HEATER	EXISTING TO REMAIN
26	2	KEP PORTION SCALE	EXISTING TO REMAIN
27	1	WAP SINK	EXISTING TO REMAIN
28	1	DRAINING TRAY	EXISTING TO REMAIN
29	1	DRINKING FOUNTAIN	METRO, REFER TO PLAN FOR LOCATION, METRO, #METRO1000, 1.5L X 2.5L, 1.5L X 2.5L
30	1	WIRELESS DRINK THRU COUPLER SYSTEM	WIRELESS DRINK THRU COUPLER SYSTEM, #WIRELESS DRINK THRU COUPLER SYSTEM

NO.	QTY.	ITEM	MANUF. AND MODEL NO.
1	4	CASH REGISTER	(I) EXISTING, (I) RELOCATED EXISTING
2	1	12 HEAD DRINK DISPENSER W/ ICE MAKER ABOVE (SEE #15)	RELOCATED EXISTING
3	1	SELF-SERVE BEVERAGE COUNTER	RES./EBCOR
4	1	BANK MAKE	RELOCATED TO 2ND FLOOR, 2ND FLOOR
5	3	WALL MOUNTED HAND SINK	(I) KROHNE #S-1, (I) EXISTING
6	0	WALL MOUNTED HAND SINK	(I) KROHNE #S-1, (I) EXISTING
7	1	COP DISPENSER	MERMASTER, #D09315400, 1.8 X 2.0 X 2.75 HX
8	1	HEAD DRIVE/DRIP PANNE DISPENSER	DRIVE THRU BEVERAGE COUNTER
9	1	LID HOLDER	EXISTING TO REMAIN
10	1	SHAKE MACHINE	INCLUDED WITH #8
11	1	SHAKE MACHINE	EXISTING
12	1	SHAKE MACHINE	EXISTING
13	1	SHAKE CUP & LID DISPENSER	EXISTING
14	1	PREP STAND	EXISTING
15	1	PREP STAND	EXISTING
16	4	COOKIE W/ROD CABINET	(I) RELOCATED EXISTING, (I) AUTO-SHIMM-BOOTH #AB1.55 (W/ ATTACHED SPOON)





**CODED NOTES:**

1. DISCONNECT AND REMOVE EXISTING PLUMBING, DRAINAGE, AND GAS APPLIANCES APPLICABLE TO THIS PROJECT. CAP EXISTING TANKS AND VENT CONNECTIONS BEHIND FINISH SURFACE, BEHIND FINISH PARTITION WALLS, AND BEHIND ALL UNOCCUPIED ROOMS THROUGH SURFACE CUT AND PATCH FLOOR AS REQUIRED.
2. EXISTING COFFEE MACHINES TO BE RELOCATED TO BEING TIEBACK WATER BACK TO MAIN AND CAP.
3. DISCONNECT AND REMOVE EXISTING RESTROOM FIXTURES. THEY AND ASSOCIATED APPURTENANCES IN ALL TOILET ROOMS SHALL BE DEMOLISHED AND REMOVED TO THE STREET WITH PROPER IN PLACE AND PROTECTOR.
4. DRAIN REVERSE FLOWING, AND ICE MACHINES TO BE DEMOLISHED AND REINSTALLED. DRAIN VENTOR EXHAUST PIPING SHALL BE RELOCATED TO BEING TIEBACK WATER MAIN AND CAP. WORK TO REMOVE ALL EXISTING TOILET AND DRAIN FIXTURES TO BE DEMOLISHED AND RELOCATED TO BEING TIEBACK WATER MAIN AND CAP.

**FIELD VERIFY ALL CONDITIONS:**

DESIGN DRAWINGS ARE PARAMOUNT. THE CONTRACTOR SHALL VERIFY THE WORK TO BE DONE OR AVOID OF CONTRACT BY REFERENCING FIELD CONDITIONS. THE CONTRACTOR SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY FOR INDICATED WORK TO BE DONE IN FIELD.

BEFORE ANY WORK BEGINS, THE CONTRACTOR SHALL VERIFY THE WORK TO BE DONE OR AVOID OF CONTRACT BY REFERENCING FIELD CONDITIONS. THE CONTRACTOR SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY FOR INDICATED WORK TO BE DONE IN FIELD.

BEFORE ANY WORK BEGINS, THE CONTRACTOR SHALL VERIFY THE WORK TO BE DONE OR AVOID OF CONTRACT BY REFERENCING FIELD CONDITIONS. THE CONTRACTOR SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY FOR INDICATED WORK TO BE DONE IN FIELD.

**DEMOLITION GENERAL NOTES:**

- A. WHILE WORK IS IN PROGRESS THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE CONTRACTOR OR BUILDER AND CHECK ALL DEMOLITION, DETAILED AND EXISTING CONDITIONS AND RECORD ANY DISCREPANCIES.
- B. BEFORE THE BEGINNING OF ANY DEMOLITION WORK, THE CONTRACTOR SHALL OBTAIN DEMOLITION PERMITS FROM THE CITY AND COUNTY OF MADISON, WISCONSIN, INCLUDING A DEMOLITION PLAN, AS WELL AS INFORMATION OF BOTH GENERAL AND SPECIFIC NATURE.
- C. PRIOR TO DEMOLITION THE CONTRACTOR SHALL EXAMINE THE PROJECT CONTRACT DOCUMENTS TO IDENTIFY ANY DEMOLITION WORK TO BE DONE. THE CONTRACTOR SHALL OBTAIN DEMOLITION PERMITS FROM THE CITY AND COUNTY OF MADISON, WISCONSIN, INCLUDING A DEMOLITION PLAN, AS WELL AS INFORMATION OF BOTH GENERAL AND SPECIFIC NATURE.
- D. FIELD VERIFY THE EXTENT OF DEMOLITION WORK PRIOR TO BEGINS, AND FOR COORDINATING THE DEMOLITION WITH THE INSTALLATION OF NEW CONSTRUCTION INDICATED IN THE CONTRACT DOCUMENTS.
- E. ALL PLUMBING FIXTURES THAT ARE TO BE CAPED AND ABANDONED SHALL BE CONCEALED BEHIND FINISH SURFACES.
- F. WHERE EXISTING WALLS TO REMAIN ARE DAMAGED BY THE REMOVAL OF ANY PLUMBING EQUIPMENT, WALLS SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT SURFACE.
- G. AFTER THE REMOVAL OF PLUMBING EQUIPMENT, BLOCKS OF MATERIALS THE EXISTING WORK SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT SURFACE. FINISHES AND DETAILS SHALL BE PROPERLY MATCHED TO EXISTING FINISHES.
- H. CONDUCT DEMOLITION WORK IN ACCORDANCE WITH THE CITY AND COUNTY OF MADISON, WISCONSIN, AND IN ACCORDANCE WITH THE CITY AND COUNTY OF MADISON, WISCONSIN, AND IN ACCORDANCE WITH THE CITY AND COUNTY OF MADISON, WISCONSIN.
- I. PATCH WATERHOLE ALL HOLES IN EXISTING FLOOR SLAB AS A RESULT OF EXISTING PIPING BEING REMOVED AS REQUIRED FOR THIS WORK.

589 W. HATLON WIDE BLDG. SUITE B, COUMBUS, OHIO 43215  
 PHONE: 614.487.8770  
 RED/ARCHITECTURE.COM



FOR: INSPIRE BRANDS INC.  
 ARBY'S RESTAURANT - #1655  
 1221 CLIFTY DR  
 MADISON, IN 47250

PROJECT NUMBER	
AR6520	
ISSUE	
10	05.11.24
08	06.20.24
PERMIT	08.11.24

PROJECT NAME & NUMBER  
 08200000240000  
 ARBY'S RESTAURANT  
 #1655

CDM DEPARTMENT  
 PLUMBING

PD.1



1 FLOOR PLAN - PLUMBING DEMOLITION  
 1/4" = 1'-0"

















ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



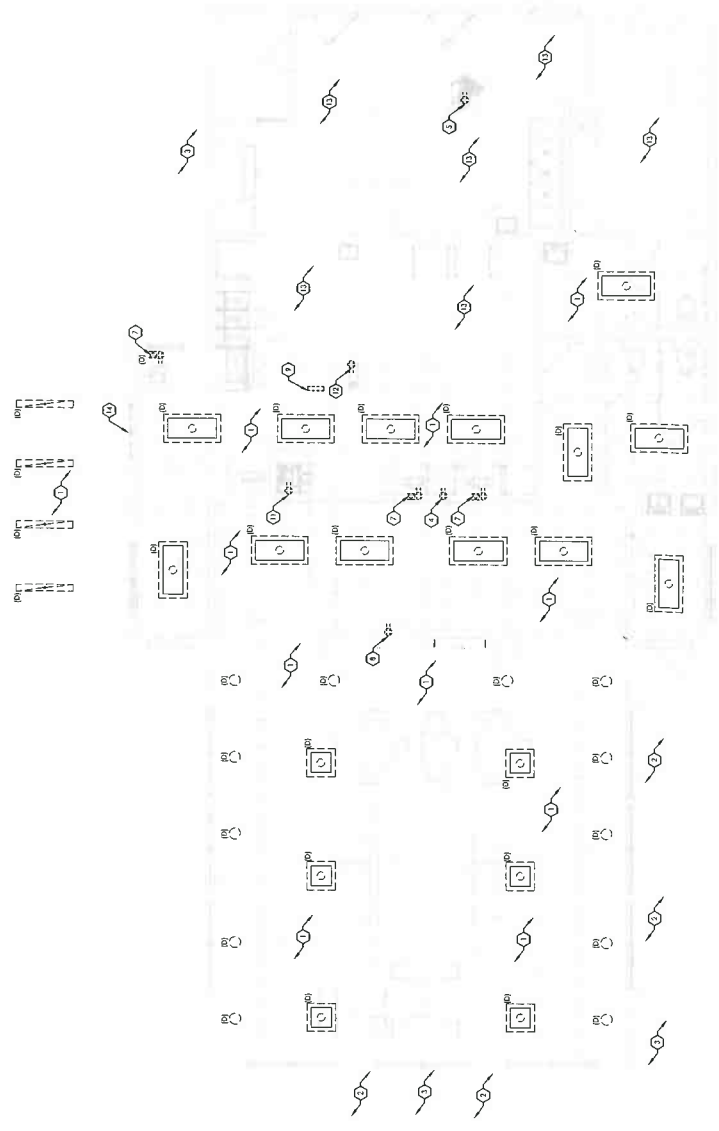
ARBY'S RESTAURANT - #1655  
 BUILDING REMODEL  
 1221 CLIFTY DR  
 MADISON, IN 47250  
 FOR: INSPIRE BRANDS INC.

PROJECT NUMBER: 1600000000  
 ISSUE: 05/21/14  
 DATE: 06/23/14  
 PERMIT: 08.23.14

SHEET NAME & NUMBER  
 DEMOLITION PLAN  
 ELECTRICAL

ED.1

- CODED NOTES:**
1. REMOVE EXISTING WIRING IN THE AREA, UNLESS OTHERWISE SPECIFIC EXISTING CIRCUIT FOR NEW USE, IS SHOWN REMAINING OVER TO OTHER.
  2. REMOVE EXISTING ENTIRE WIRING, REMOVE JUNCTION BOX, PATCH AND SEAL, REPERFORATE MAINLINE CIRCUIT FOR NEW WIRING.
  3. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. MAINTAIN AND PROTECT EXISTING CIRCUIT DURING CONSTRUCTION.
  4. EXISTING WIRING TO BE RELOCATED, EXISTING CIRCUIT TO NEW LOCATION, MAKE FINAL CONNECTIONS.
  5. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING OUTLET AND CIRCUIT.
  6. NOT USED.
  7. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING CIRCUIT TO BE REMOVED AND REPLACED WITH NEW WIRING, MAINTAIN AND PROTECT EXISTING CIRCUIT FOR REUSE.
  8. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING CIRCUIT FOR REUSE.
  9. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING CIRCUIT FOR REUSE WITH NEW WIRING, MAINTAIN EXISTING CIRCUIT FOR REUSE AND EXTEND AS REQUIRED FOR NEW LOCATION.
  10. NOT USED.
  11. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING OUTLET AND CIRCUIT.
  12. EXISTING WIRING TO BE RELOCATED, RELOCATE EXISTING OUTLET AND CIRCUIT.
  13. EXISTING WIRING IN BACK OF HOUSE TO REMAIN.
  14. EXISTING DRIVE THRU WINDOW TO BE REMOVED, MAINTAIN EXISTING CIRCUIT FOR NEW DRIVE THROUGH.







PROJECT NUMBER	ARG620
ISSUE	05.13.24
DATE	05.30.24
PERMIT	06.21.24

**CODED NOTES:**

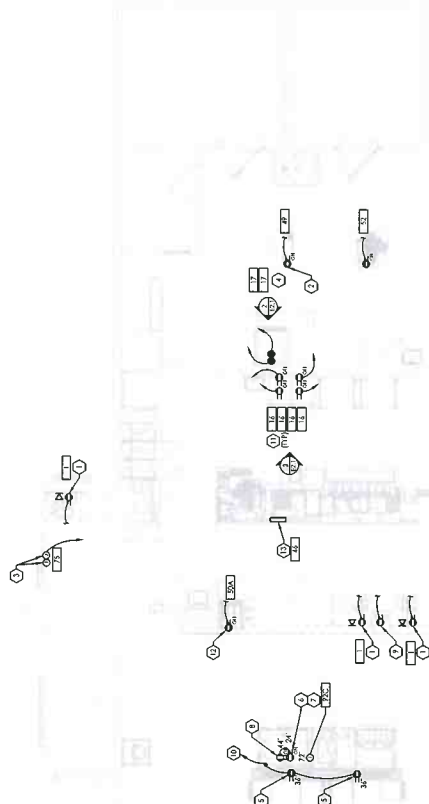
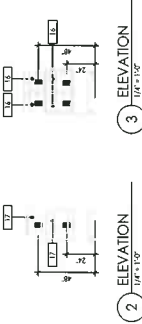
1. RECEPTACLE TYPE: RECEPTACLE TYPE SHALL BE AS SHOWN ON THE RECEPTACLE SCHEDULE. ALL RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
2. RECEPTACLE TYPE: RECEPTACLE TYPE SHALL BE AS SHOWN ON THE RECEPTACLE SCHEDULE. ALL RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
3. NEW DATA: NEW DATA SHALL BE AS SHOWN ON THE RECEPTACLE SCHEDULE. ALL RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
4. RECEPTACLE TYPE: RECEPTACLE TYPE SHALL BE AS SHOWN ON THE RECEPTACLE SCHEDULE. ALL RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
5. USE CHARGING RECEPTACLE: CHARGING RECEPTACLE SHALL BE AS SHOWN ON THE RECEPTACLE SCHEDULE. ALL CHARGING RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
6. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION.
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**KITCHEN EQUIPMENT ELECTRICAL SCHEDULE**

TAG	DESCRIPTION	GENERAL INFORMATION	MANUFACTURER	MODEL	VOLTS	PHASE	AMPS	RECORDING HEIGHT (FT)	CONNECTION	REMARKS
1	CHAFF HOOD	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
2	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
3	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
4	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
5	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
6	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
7	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
8	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
9	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
10	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
11	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
12	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
13	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
14	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
15	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
16	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
17	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
18	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
19	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			
20	RECEPTACLE	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	BY CHAFF HOOD MANUFACTURER	208	1	15			

**GENERAL NOTES:**

1. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION. PROVIDE RECEPTACLE FOR A COMPLETE INSTALLATION.
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Commercial Millwork & Installation LLC.

All Dimensions of the site and/or building are supplied by the customer or his agent. Dimensions of items not provided but marked "HOLD" by CMI must be exactly maintained to assure proper tie-in with CMI's provided items. Customer has agreed to assume responsibility of control of all dimensions of the site and/or building and items not provided by CMI, and for any added costs if such dimensions are not held to normal construction tolerances.  
Any reproduction or use of this material without written consent of CMI is prohibited.



STORE #: 1655  
PROJECT #: 04822\_01  
ADDRESS: 1221 Clifty Drive  
CITY/ST: Madison, IN

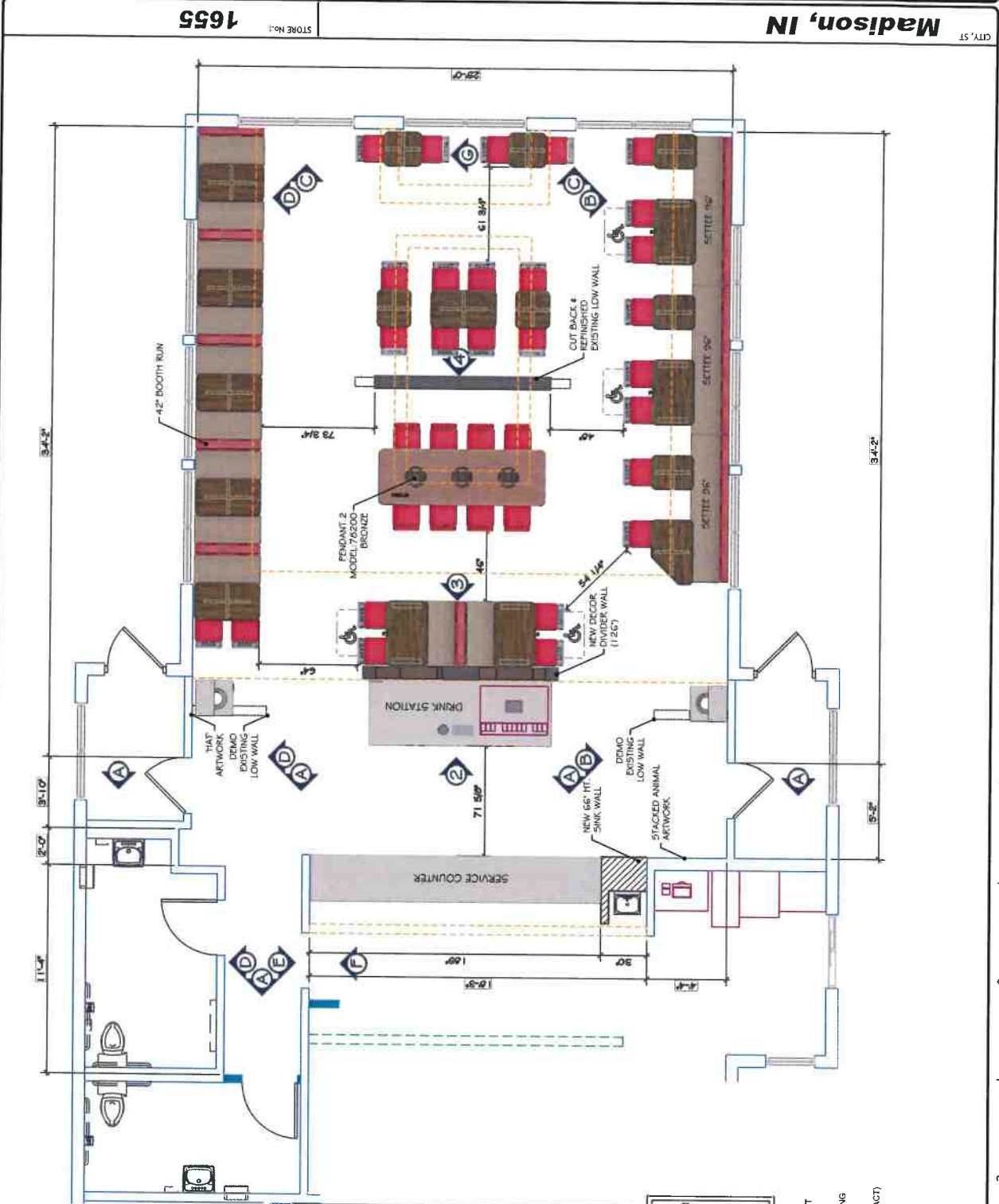
TABLE TOP STYLE	TOP QTY.	SEAT QTY.
SINGLES	0	0
2 TOPS	7	14
3 TOPS	1	3
4 TOPS	10	40
5 TOPS	0	0
6 TOPS	0	0
8 TOPS	1	8
10 TOPS	0	0
<b>TOTALS:</b>	<b>19</b>	<b>65</b>

NEW SEATING CAPACITY = 65

TAB	SHEET NO.	DESCRIPTION
F-1	1	SEATING PLAN
PL-1	2	PRODUCT SPECS
PL-2	3	PRODUCT LAYOUT
DW-1	4	DIVIDER WALL ELEV.
E1	5	ELEVATIONS
E2	6	ELEVATIONS
E3	7	ELEVATIONS
E4	8	ELEVATIONS
E5	9	ELEVATIONS - NOT USED
RCP1	10	REFLECTED CEILING PLAN
FTP1	11	FLOOR TILE PATTERN
D1	12	DETAILS
SPECS1	13	SPECIFICATIONS
SPECS2	14	SPECIFICATIONS
SPECS3	15	SPECIFICATIONS
DVP1	16	DIMENSION VERIFICATION PLAN

**NOTE:**  
IT IS THE RESPONSIBILITY OF THE G.C. TO CONFIRM BUILDING DIMENSIONS SUBJECT TO VERIFICATION. DO NOT TAKE OFFS AND INSPECT ALL PRODUCTS UPON DELIVERY.  
IF ANY ADDITIONAL MATERIAL IS REQUIRED, OR ANYTHING ARRIVES DAMAGED, PLEASE CONTACT RANDY SANSON IMMEDIATELY @ 678-200-6441

**NOTES:**  
BUILDING DIMENSIONS SUBJECT TO VERIFICATION. DO NOT COREDRILL FROM THIS PLAN.  
VERIFY ALL BOXED DIMENSIONS PRIOR TO MANUFACTURING SEATING EQUIPMENT.  
COMPLIANCE WITH "A.D.A." (AMERICAN WITH DISABILITIES ACT) IS THE SOLE RESPONSIBILITY OF THE OWNER.



		ACCOUNT: Arby's DESIGN BY: Henry DATE: 6/12/24 PROJECT NO.: F1_04822 REVISION: 01
ADDRESS: 1221 City Drive Madison, IN		SHEET TITLE: SEATING PLAN SCALE: 3/16" = 1'-0" MOVE CHAIRS TO TOP & PRODUCTS AWAY FROM UNDER THE SKYLIGHT
		REVISION DATE BY 6/24/24 HR





DATE	BY	REVISION
02/24	HR	
		Move community top & products away from under the skylight

PRODUCT LINE  
SCALE: N.T.S.  
ADDRESS: 1221 Clifty Drive  
Madison, IN

**Arby's**  
ACCOUNT: Arby's  
DESIGN BY: Henry  
DATE: 6/1/2024  
PROJECT NO.: PL-1 04622  
REVISION: 01  
SHEET NO.: 2

**FURNITURE FINISHES**

**TABLE TOPS:**  
 SERIES: LAMINATED  
 \*TABLE A\*: PIONITE WX110 "SMOOTH PADDLIN"  
 EDGE: PLYWOOD  
 \*TABLE B\*: WILSONART 7973K-12 "OLD MILL OAK"  
 EDGE: BROWN VINYL  
 NOTE: HANDICAP SYMBOL ON HANDICAP TABLES

**TABLE BASE:**  
 SERIES: STANDARD AND BAR HEIGHT FREESTANDING BASES  
 FINISH: BLACK

**CHAIRS (FREESTANDING):**  
 CHAIR SERIES: #809  
 FRAME FINISH: M-8 QUICKSILVER  
 SEAT "A": UPHOLSTERY: ESP635 AMERICAN BEAUTY (U6)

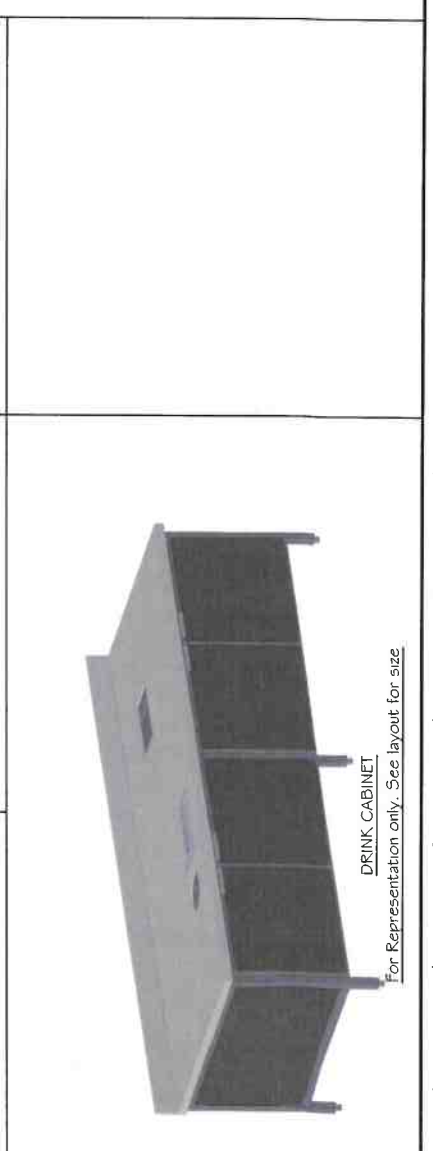
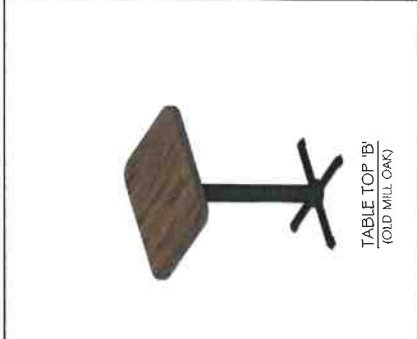
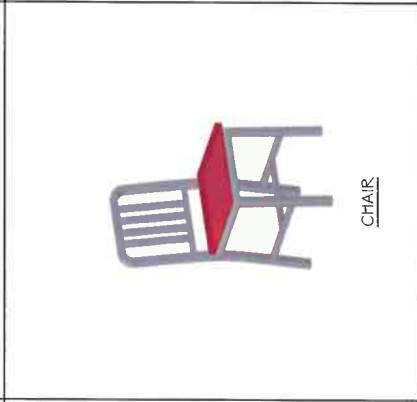
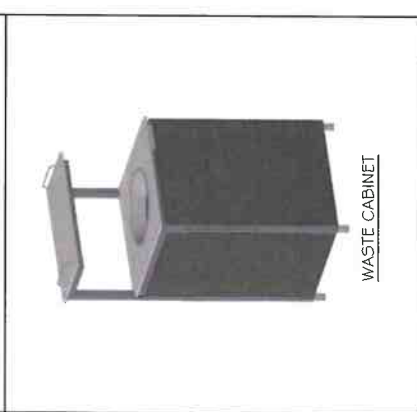
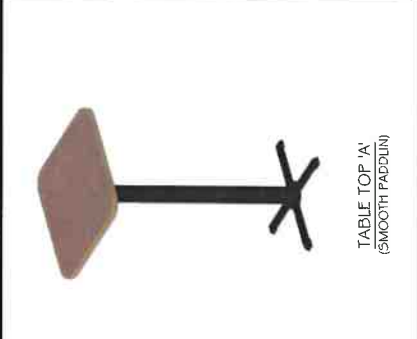
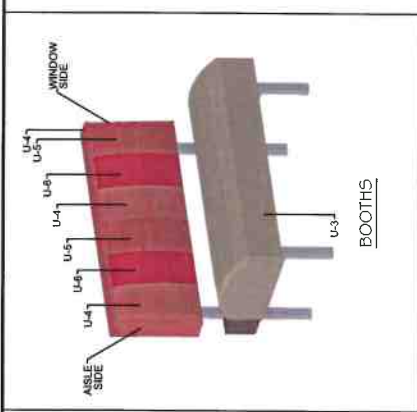
**BARSTOOL (FREESTANDING):**  
 CHAIR SERIES: #809-30  
 FRAME FINISH: S-19 LIPSTICK REDDUM  
 SEAT "A": UPHOLSTERY: ESP635 AMERICAN BEAUTY (U6)


**BOOTH: ARBY'S 36" AFF**  
 SERIES: UPHOLSTERED BACK PAD & SEAT  
 BACK PAD PATTERN - STANDARD SIZE & WALL BENCHES  
 TOP CAP / SIDE PANEL: ARC-COM RODEO, AC-68953, FIRE #14 (U4)  
 BACK PAD UPHOLSTERY:  
 UPHOLSTERY 4: ARC-COM RODEO, AC-68953, FIRE #14 (U4)  
 UPHOLSTERY 5: ARC-COM RODEO, AC-68954, RUBY #15 (U5)  
 UPHOLSTERY 6: ARC-COM RODEO, AC-68952, LIPSTICK #13 (U6)  
 SEAT PAD FINISH: ARC-COM RODEO, AC-68984, "RHINO" #45 (U3)  
 WELT: ARC-COM RODEO, AC-68984, "RHINO" #45 (U3)  
 CRUMB RAIL: FORMICA 5884-58 CHESTNUT WOODLINE STRIPES TO BE TUFTED

**WASTE CABINETS:**  
 SERIES: TOP DROP ON F/S LEGS  
 TOP AND TRAY SHELF FINISH: CORIAN 'GLACIER WHITE' (C2)  
 TRAY STOPS AND TRASH CHUTE: STAINLESS STEEL  
 CABINET/DOOR: STAINLESS STEEL CONSTRUCTION w/LAMIN. OUTER PANELS  
 LAMINATED PANELS: NEVAMAR 'CHARCOAL ESSENCE' ES6002 (L4)  
 LEGS: STAINLESS STEEL BULLET FEET

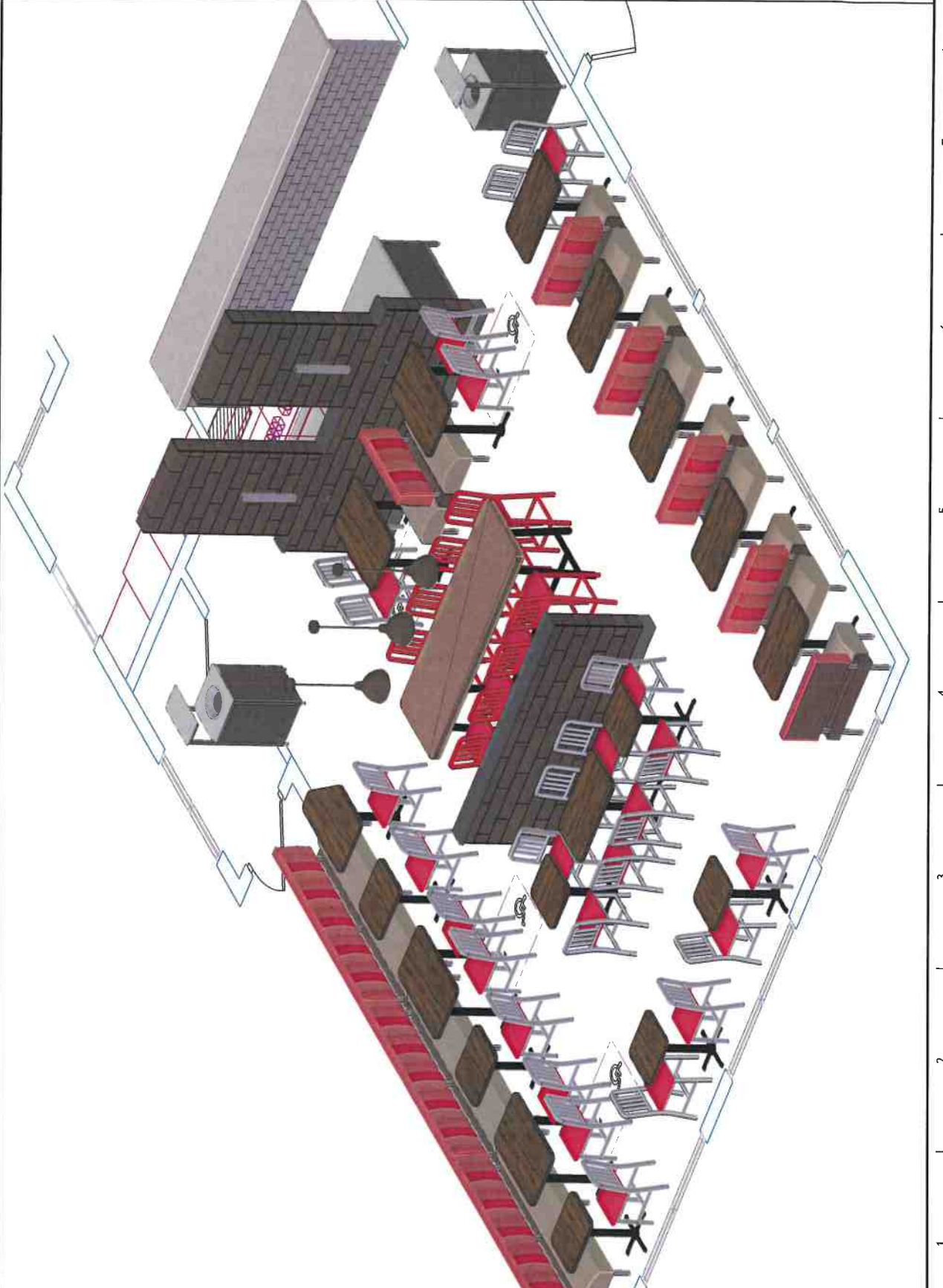
**BEVERAGE CABINET:**  
 SERIES: FREESTANDING ON LEGS  
 TOP / BACK SPLASH FINISH: CORIAN 'GLACIER WHITE' (C2)  
 CABINET/DOOR: STAINLESS STEEL CONSTRUCTION w/LAMIN. OUTER PANELS  
 LAMINATED PANELS: NEVAMAR 'CHARCOAL ESSENCE' ES6002 (L4)  
 LEGS: STAINLESS STEEL BULLET FEET

FURNISHED BY: CMI  
 INSTALLED BY: G.C.



	ACCOUNT: Arby's	1221 City Drive Madison, IN SCALE: N.T.S. PROJECT NO.: PL2 04822 REVISION: 01 3
	DESIGN BY: Henry DATE: 6/12/24 PROJECT NO.: PL2 04822 REVISION: 01 3	
SHEET TITLE: PRODUCT LINE LAYOUT ADDRESS: 1221 City Drive Madison, IN		REVISION: 01 3 DATE: 6/24/24 BY: HR

CITY, ST **Madison, IN** STORE NO.: **1655**





356 Industrial Road - Newport, TN 37211

REVISION	DATE	BY
01	02/24/24	MR
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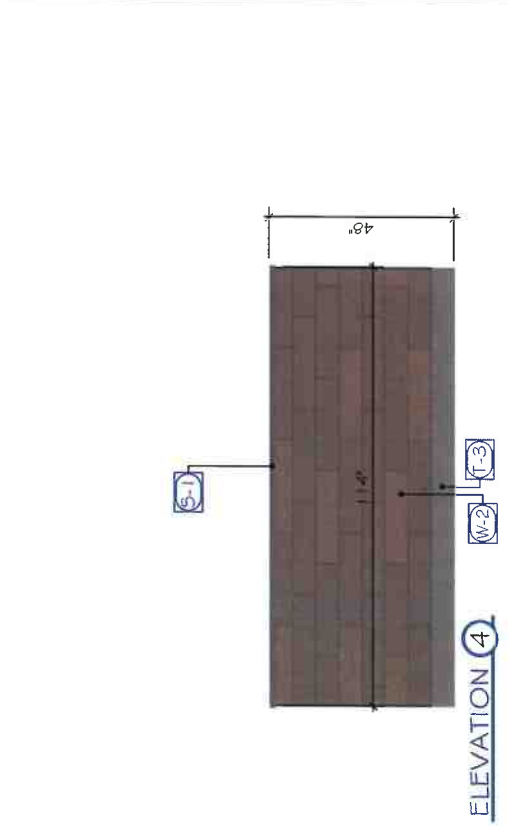
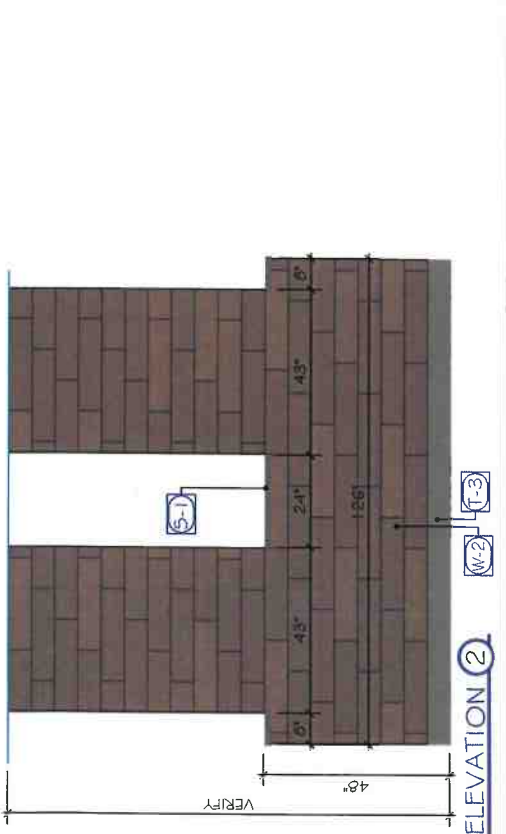
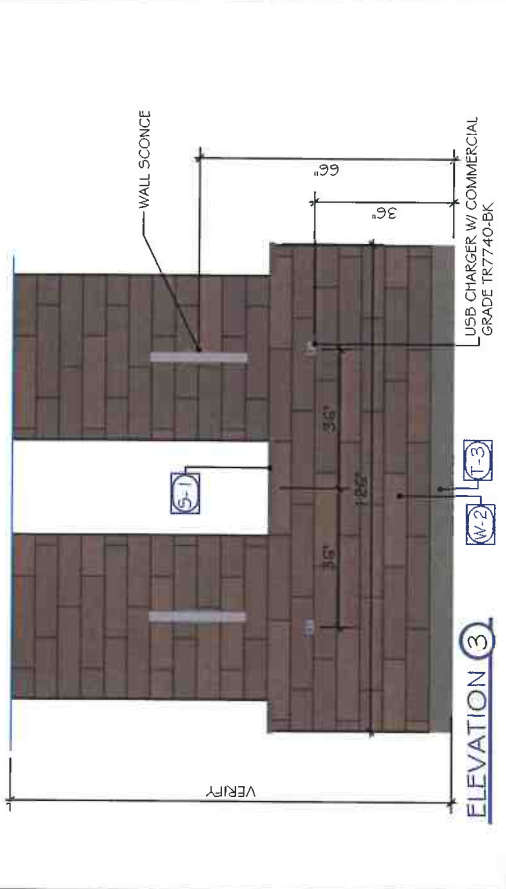
Divider Walls  
 SCALE: 1/4" = 1'-0"  
 1221 City Drive  
 Madison, IN

**Arby's**

ACCOUNT: Arby's  
 DESIGN BY: Henry  
 DATE: 6/12/24  
 PROJECT NO.: DWI\_04822  
 REVISION: 01  
 SHEET NO.: 4

**Madison, IN** CITY, ST

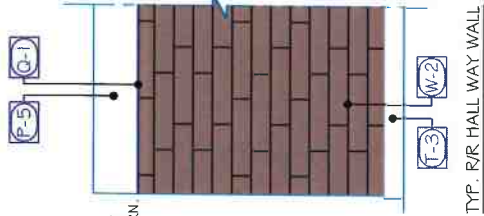
STORE No.: 1655



- NOTE: TILED WALLS TO RECEIVE MATTE BLACK ALUMINUM SCHLUTER CORNER GUARD ON ALL OUTSIDE CORNERS.
- APA GRAPHICS CUSTOM CHALKBOARD VINTAGE ARBY'S
  - CROSSVILLE TILE 48 COLOR BY NUMBERS WITH CARBON-14 GLOSS
  - LAMINATE: PIONITE W9011 SUEDE KINGSLEY
  - LAMINATE: PIONITE W9110 SUEDE SMOOTH FABRIK
  - LAMINATE: FORMICA 5884-58 "CHESTNUT WOODLINE" OPTIONAL LAM: FORMICA F989-58 BLACK
  - CROSSVILLE TILE 12x12 SCGT 'URBAN'
  - CROSSVILLE TILE 6x24 SWG 'LAKEWOOD'
  - CROSSVILLE TILE 6x12 COVE BASE 6x12 SCGT 'URBAN'
  - CROSSVILLE TILE 48 COLOR BY NUMBERS W102 TEA FOR TWG GLOSS
  - WOOD TOP CAP PAINT SW7674 PEPPERCORN (P-8)
  - WOOD CHAIR RAIL PAINT SW7674 PEPPERCORN (P-8)
  - WOOD ACCENT TRIM PAINT SW7674 PEPPERCORN (P-8)
  - SOLID SURFACE CORIAN 'GLACIER WHITE'
  - SHERWIN WILLIAMS COLOR: SW751 'GREEK VILLA'
  - SHERWIN WILLIAMS COLOR: SW888 'BONGMAN BLACK'
  - SHERWIN WILLIAMS COLOR: SW7874 PEPPERCORN (P-8)
  - POCELAM TILE - WOOD GRAIN KNOXWOOD NUTMEG
  - SHERWIN WILLIAMS COLOR: SW7038 'TONY TAUPE'
  - SHERWIN WILLIAMS COLOR: SW884 'CHERRY TOMATO'
  - SHERWIN WILLIAMS COLOR: SW683 'SABLE GLOSS'
  - SHERWIN WILLIAMS COLOR: SW705 'PURE WHITE'

LESS OTHERWISE SPECIFIED (NOTE: Not all finishes used on every project.)

NOTE:  
 ALL FILL PATTERNS SHOWN ON THE DRAWINGS/ELEVATIONS ARE ONLY TO HELP SHOW DESIGN INTENT. THEY DO NOT REPRESENT THE TRUE INSTALL PATTERN.



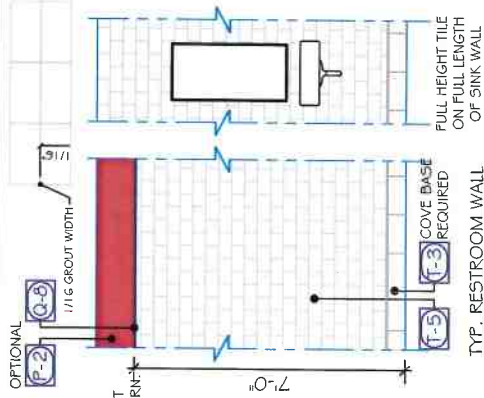
PAINT OPTIONS SEE ELEVATIONS

WAINSCOT NOTE:  
 6" CUT BASE TILE WITH FULL 1/2" TILE ABOVE. LAST TILE UNDER CHAIR RAIL CUT TO FIT PER SITE.

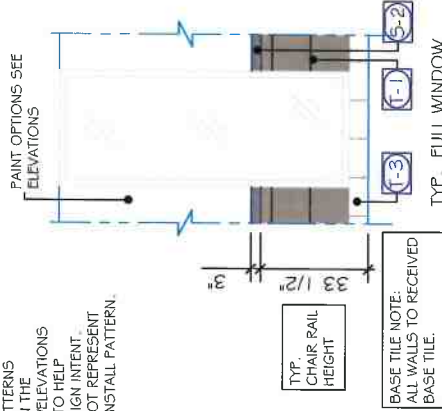


BASE TILE NOTE:  
 USE 1/2" FLOOR TILE CUT INTO 6" PIECE AS BASE TILE UNLESS LOCAL CODES CALL FOR COVE BASE TILE. PART: STONEPEAK USG612C162.

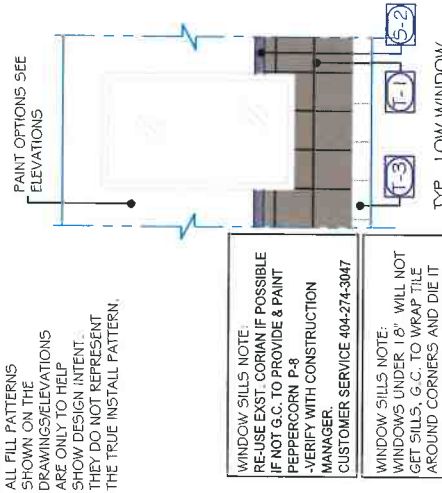
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- LESS OTHERWISE SPECIFIED (NOTE: Not all finishes used on every project.)
- P-1 SHERWIN WILLIAMS COLOR: SW7038 TONY TAUPE
  - P-2 SHERWIN WILLIAMS COLOR: SW683 SABLE GLOSS
  - P-3 SHERWIN WILLIAMS COLOR: SW7035 PURE WHITE
  - P-4 SHERWIN WILLIAMS COLOR: SW7035 PURE WHITE
  - G-1 SHERWIN WILLIAMS COLOR: SW7551 GREEK VILLA
  - G-2 SHERWIN WILLIAMS COLOR: SW8598 BOHEMIAN BLACK
  - G-3 SHERWIN WILLIAMS COLOR: SW7674 PEPPERCORN
  - G-4 SHERWIN WILLIAMS COLOR: SW683 SABLE GLOSS
  - G-5 SHERWIN WILLIAMS COLOR: SW7035 PURE WHITE
  - W-1 WOOD TOP CAP PAINT SW1674 PEPPERCORN (P-8)
  - W-2 WOOD CHAIR RAIL PAINT SW1674 PEPPERCORN (P-8)
  - W-3 WOOD ACCENT TRIM PAINT SW1674 PEPPERCORN (P-8)
  - W-4 SOLID SURFACE CORIAN 'GLACIER WHITE'
  - T-1 CROSSVILLE TILE-12x12 SCOT 'URBAN'
  - T-2 CROSSVILLE TILE 6x24 SW6 'LAKEWOOD'
  - T-3 CROSSVILLE TILE- COVE BASE 6x12 SCOT 'URBAN'
  - T-4 CROSSVILLE TILE-A8 SCOT 'URBAN' GLASS
  - T-5 CROSSVILLE TILE-A8 SCOT 'URBAN'
  - S-1 APA GRAPHICS CUSTOM CHALKBOARD VINTAGE ARBY'S
  - S-2 TILE EDGE PROTECTOR Q100MGS SCHLUTER MATTE BLACK ALUM.
  - S-3 TILE EDGE PROTECTOR Q100MGS SCHLUTER MATTE BLACK ALUM.

- T-6 CROSSVILLE TILE-A8 COLOR BY NUMBERS WITH 'CARBON-14' GLOSS 'KINGSLEY'
- T-7 LAMINATE- PIONITE WW011 SUEDE
- T-8 LAMINATE- PIONITE WA110 SUEDE SMOOTH FACILITY
- T-9 LAMINATE- FORMICA 5884-S8 'CHESTNUT WOODLINE' OPTIONAL LAM. FORMICA 4989-S8 'BLACK'



REVISION	DATE	BY	HR
01	6/12/24		

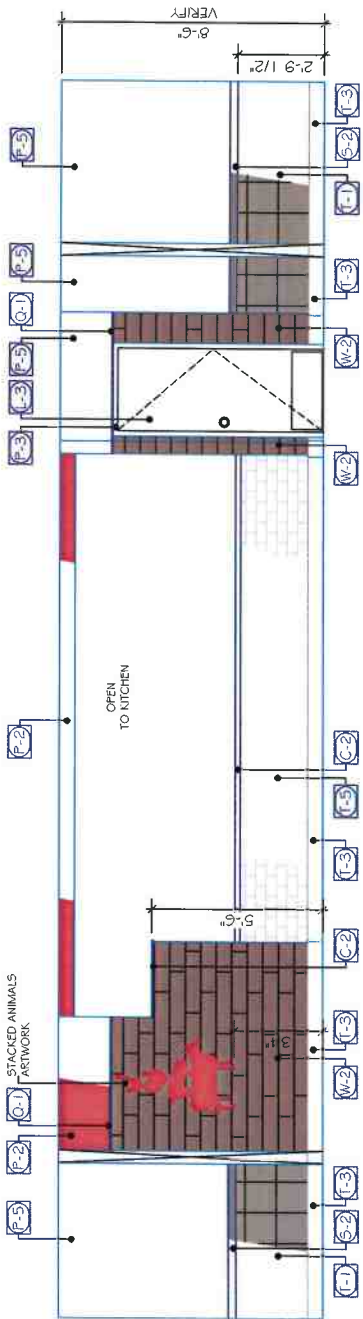
SCALE: 1/4" = 1'-0"

ADDRESS: 1221 City Drive  
 Madison, IN

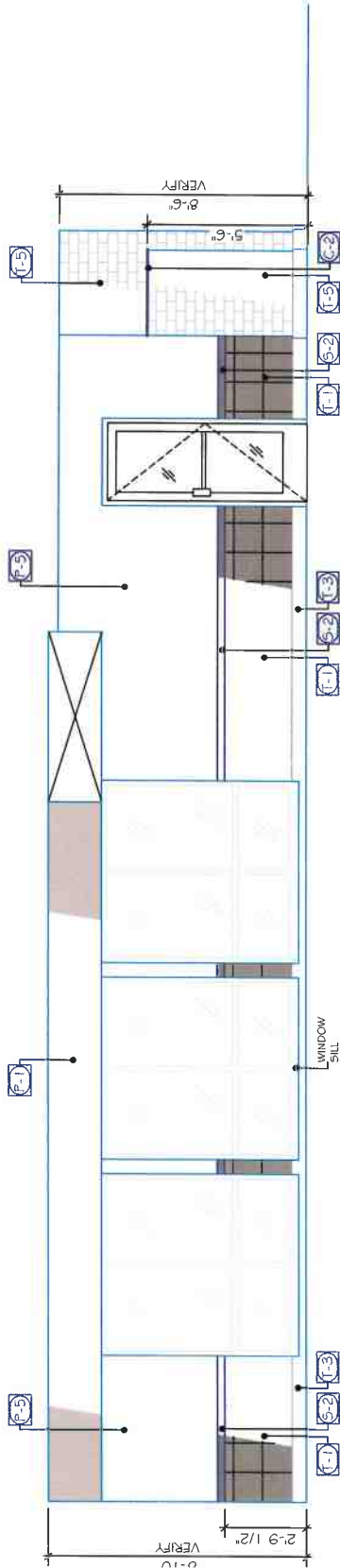
SHEET TITLE: ELEVATIONS (TYP.)

ACCOUNT: Arby's  
 DESIGN BY: Henry  
 DATE: 6/12/24  
 PROJECT NO.: FT\_04822  
 REVISION: 01  
 SHEET NO.: 5

NOTE: ( IF PAINT OPTION CHOSEN ) PAINTER SHOULD MUD & PRIME WALL PRIOR TO PAINTING TO A LEVEL 5 FINISH.



ELEVATION A



ELEVATION B

LESS OTHERWISE SPECIFIED (NOTE: Not all finishes used on every project.)

- P-1 SHERWIN WILLIAMS COLOR: SW7038 'TONY TAUPE'
- P-2 SHERWIN WILLIAMS COLOR: SW6864 'CHERRY TOMATO'
- P-3 SHERWIN WILLIAMS COLOR: SW6883 'SABLE GLOSS'
- P-4 SHERWIN WILLIAMS COLOR: SW7005 'PURE WHITE'
- P-5 SHERWIN WILLIAMS COLOR: SW7551 'GREEK VILA'
- P-6 SHERWIN WILLIAMS COLOR: SW8988 'BOHEMIAN BLACK'
- P-7 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- P-8 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- P-9 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- P-10 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
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- C-22 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
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- C-62 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-63 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-64 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-65 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-66 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-67 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-68 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-69 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-70 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-71 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-72 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-73 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-74 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-75 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-76 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
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- C-79 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-80 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-81 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-82 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-83 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
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- C-90 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-91 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-92 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-93 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-94 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-95 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-96 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-97 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-98 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-99 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'
- C-100 SHERWIN WILLIAMS COLOR: SW7574 'PEPPERCORN'

- T-1 CROSSVILLE TILE-12x12 COLOR BY NUMBERS WITH 'SCOT URBAN'
- T-2 CROSSVILLE TILE-6x24 COLOR BY NUMBERS WITH 'SWGS LAKEWOOD'
- T-3 CROSSVILLE TILE-12x18 COVE-BASE 6x12 COLOR BY NUMBERS WITH 'SCOT URBAN'
- T-4 CROSSVILLE TILE-4x8 COLOR BY NUMBERS WITH 'TEA FOR TWO' GLOSS
- T-5 CROSSVILLE TILE-4x8 COLOR BY NUMBERS WITH 'TEA FOR TWO' GLOSS
- T-6 CROSSVILLE TILE-4x8 COLOR BY NUMBERS WITH 'CARBON-4\"/>

- V-1 AIA GLOSSUS CUSTOM CHAIRBOARD VINTAGE ARBY'S
- V-2 TILE EDGE PROTECTOR 0100MGS 1/8\"/>

Madison, IN CITY, ST

1655 STORE NO.:

REVISION: DATE BY

SCALE: 1/4" = 1'-0"

ADDRESS: 1221 City Drive Madison, IN

SHEET TITLE: ELEVATIONS

ACCOUNT: Arby's

DESIGN BY: Henry

DATE: 6/12/24

PROJECT NO.: E2\_04822

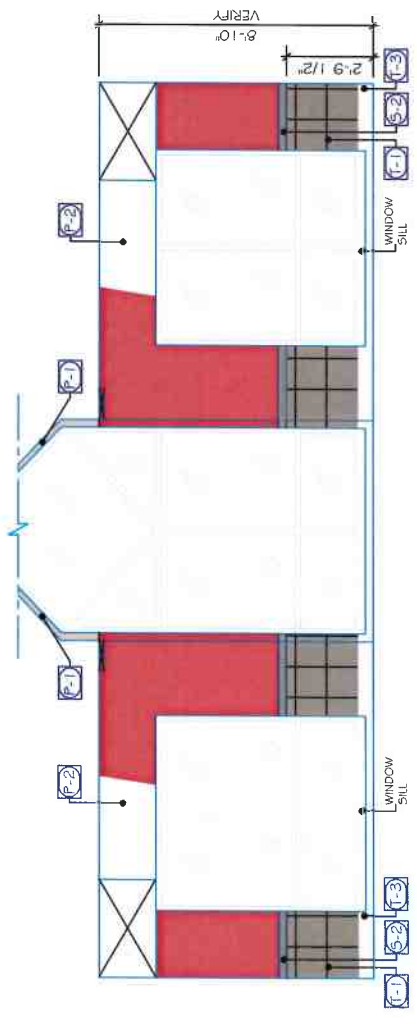
REVISION: 01 SHEET NO.: 6

355 Industrial Road, Newport, TN 37821

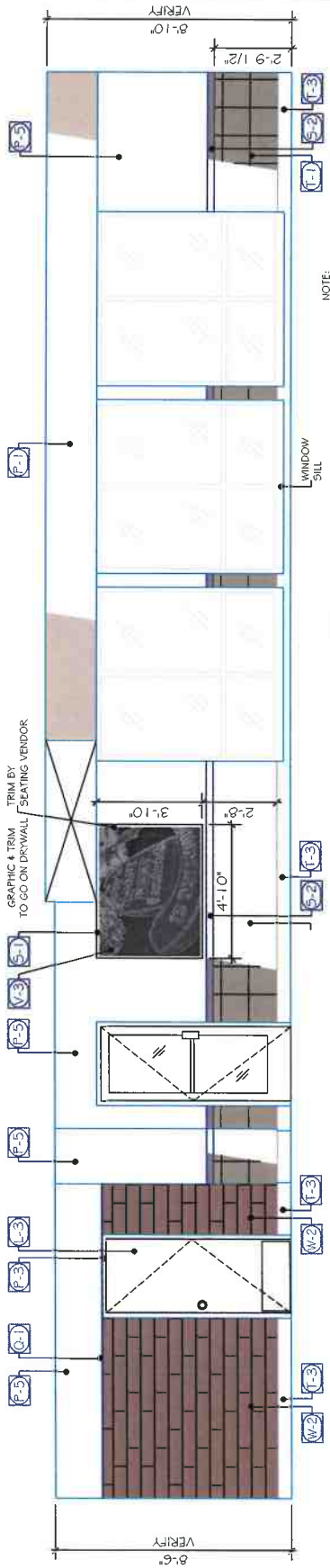
COMMERCIAL MILLWORK & INSTALLATION LLC

CMI

NOTE: ( IF PAINT OPTION CHOSEN ) PAINTER SHOULD MAUD # PRIME WALL PRIOR TO PAINTING TO A LEVEL 5 FINISH.



ELEVATION C



ELEVATION D

UNLESS OTHERWISE SPECIFIED (NOTE: Not all finishes used on every project.)

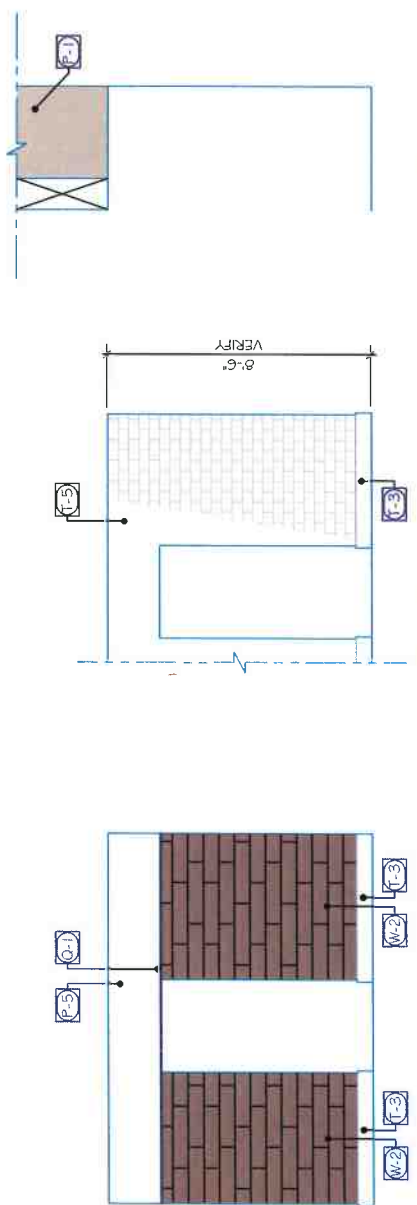
- P-1 SHERWIN WILLIAMS  
COLOR: SW7038 TONY TAUPE
- P-2 SHERWIN WILLIAMS  
COLOR: SW684 CHERRY TOMATO
- P-3 SHERWIN WILLIAMS  
COLOR: SW683 SABLE GLOSS
- P-4 SHERWIN WILLIAMS  
COLOR: SW7065 PURE WHITE
- P-5 WOOD TOP CAP  
PAINT SW1674 PEPPERCORN (P-6)
- P-6 WOOD CHAIR RAIL  
PAINT SW1674 PEPPERCORN (P-6)
- P-7 WOOD ACCENT TRIM  
PAINT SW1674 PEPPERCORN (P-6)
- P-8 SOLID SURFACE  
CORIAN GLACIER WHITE
- P-9 SHERWIN WILLIAMS  
COLOR: SW551 GREEK VILLA
- P-10 SHERWIN WILLIAMS  
COLOR: SW686 BOHEMAN BLACK
- P-11 SHERWIN WILLIAMS  
COLOR: SW1674 PEPPERCORN
- P-12 POCELAIN TILE - WOOD GRAIN  
COLOR: KNOWOOD NUTMEG
- T-1 CROSSVILLE TILE 12x12  
SCOT URBAN
- T-2 CROSSVILLE TILE 6x4  
SWP LAKEHOOD
- T-3 CROSSVILLE TILE - COVE BASE R412  
SCOT URBAN
- T-4 CROSSVILLE TILE #68  
COLOR BY NUMBERS VT02 TEA FOR TWO
- T-5 CROSSVILLE TILE #48  
COLOR BY NUMBERS VT02 TEA FOR TWO
- T-6 CROSSVILLE TILE #48  
COLOR BY NUMBERS VT14 CARBON-14 GLOSS
- T-7 LAMINATE: PIONITE W0111 SUEDE  
KINGSLEY
- T-8 LAMINATE: PIONITE W0110 SUEDE  
SMOOTH PADDLY
- T-9 LAMINATE: FORMICA 5884-58  
CHESTNUT WOODLINE
- T-10 OPTIONAL LAM: FORMICA 16696-58 BLACK
- T-11 APA GRAPHICS  
CUSTOM CHALKBOARD VINTAGE ARBY'S
- T-12 TILE EDGE PROTECTOR Q100MG#P  
SCHLUTER MATTE BLACK ALUM.
- T-13 TILE EDGE PROTECTOR Q100MG#P  
SCHLUTER WHITE BLACK ALUM.

Madison, IN

STORE No.: 1655

	ACCOUNT: Arby's DESIGN BY: Emily DATE: 6/1/2024 PROJECT NO: <b>1655-04822</b> REVISION: 1 SHEET NO.: 7	SHEET TITLE: ELEVATIONS SCALE: 1/4" = 1'-0" ADDRESS: 1221 Clifty Drive Madison, IN	REVISION DATE BY	CMI Commercial Millwork & Installation LLC. 256 Industrial Road - Newport, TN 37221
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NOTE: (IF PAINT OPTION CHOSEN) PAINTER SHOULD MUD & PRIME WALL PRIOR TO PAINTING TO A LEVEL 5 FINISH.



ELEVATION E

ELEVATION F

ELEVATION G

NOTE: TILED WALLS TO RECEIVE MATTE BLACK ALUMINUM SCHLUTER CORNER GUARD ON ALL OUTSIDE CORNERS.

NOTE: ALL FILL PATTERNS SHOWN ON THE DRAWINGS/ELEVATIONS ARE ONLY TO HELP SHOW DESIGN INTENT. THEY DO NOT REPRESENT THE TRUE INSTALL PATTERN.

UNLESS OTHERWISE SPECIFIED (NOTE: Not all finishes used on every project.)

<p><b>SHERWIN WILLIAMS</b> COLOR: SW7038 'ONYX TAPE'</p> <p><b>SHERWIN WILLIAMS</b> COLOR: SW9864 'CHERRY TOMATO'</p> <p><b>SHERWIN WILLIAMS</b> COLOR: SW6953 'SABLE GLOSS'</p> <p><b>SHERWIN WILLIAMS</b> COLOR: SW7025 'PURE WHITE'</p>	<p><b>SHERWIN WILLIAMS</b> COLOR: SW7351 'GREEK VILLA'</p> <p><b>SHERWIN WILLIAMS</b> COLOR: SW6988 'BOHEMIAN BLACK'</p> <p><b>SHERWIN WILLIAMS</b> COLOR: SW7674 'PEPPERCORN' (P-4)</p> <p><b>POCELAIN TILE - WOOD GRAIN</b> COLOR: SW7025 'PURE WHITE'</p>	<p><b>WOOD TOP CAP</b> PAINT SW7674 'PEPPERCORN' (P-4)</p> <p><b>WOOD CHAIR RAIL</b> PAINT SW7674 'PEPPERCORN' (P-4)</p> <p><b>WOOD ACCENT TRIM</b> PAINT SW7674 'PEPPERCORN' (P-4)</p> <p><b>SOLID SURFACE</b> CORIAN 'GLACIER WHITE'</p>	<p><b>CROSSVILLE TILE 12x12</b> COLOR BY NUMBERS WT02 'TEA FOR TWO' GLOSS</p> <p><b>CROSSVILLE TILE 6x24</b> SW68 'LAKEWOOD'</p> <p><b>CROSSVILLE TILE 4x8</b> COLOR BY NUMBERS WT02 'TEA FOR TWO' GLOSS</p>	<p><b>CROSSVILLE TILE 4x8</b> COLOR BY NUMBERS WT14 'CARBON-14' GLOSS</p> <p><b>LAMINATE: PIONITE WX110 SUEDE</b> 'KINGSLEY'</p> <p><b>LAMINATE: PIONITE WX110 SUEDE</b> 'SMOOTH PADDIN'</p> <p><b>LAMINATE: FORMICA S884-58</b> 'CHESTNUT WOODLINE'</p> <p><b>OPTIONAL LAM: FORMICA F0995-58 'BLACK'</b></p>	<p><b>ABA GRAPHICS</b> CUSTOM 'CHAIRBOARD VINTAGE ARBYS'</p> <p><b>TILE EDGE PROTECTOR Q100MGS 1/2"</b> SCHLUTER MATTE BLACK ALUM.</p> <p><b>TILE EDGE PROTECTOR Q100MGS 1/4"</b> SCHLUTER MATTE BLACK ALUM.</p>
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1655 STORE No.

CITY, ST  
**Madison, IN**

SHEET TITLE: ELEVATIONS

SCALE: 1/4" = 1'-0"

ADDRESS: 1221 City Drive  
Madison, IN

REVISION	DATE	BY
01	6/24/24	HR

256 Industrial Road - Newport, IN 47251

ACCOUNT: Arby's

DESIGN BY: Henry

DATE: 6/12/24

PROJECT NO.: E4-04822

REVISION: 01

SHEET NO.: 8

SYMBOLS	QTY.
	00
	3
	2
	1
	P1
	P2
	-

**CEILING AND LIGHTING**

**HVAC, FLUORESCENT FIXTURES, THERMOSTATS AND EXIT SIGNS:**  G.C.  G.C.  G.C.

UNLESS OTHERWISE SPECIFIED (SEE RCP) EXISTING TO REMAIN, PER THE STANDARD ARCHITECTURAL SPECIFICATIONS.

**ACOUSTICAL CEILING TILE AND T-BAR GRID:**  G.C.  G.C.

MANUFACTURE: ARMSTRONG  
 MODEL: FINE FIGURED 1728 WHITE  
 SIZE: 24" x 24" x 1/8" SQUARE EDGE  
 T-GRID: PRELUDE XL  
 FOR EXISTING CEILING & GRID - PAINT: SW7005 PURE WHITE

**PENDANT LIGHT 2:**  OWNER  OWNER  E.C.  E.C.

MANUFACTURE: KITCHLER LIGHTING  
 MODEL: 78200 BRONZE  
 BULBS: (1) 100W (M) BULB NOT INCLUDED  
 CENTERED ABOVE TABLETOPS - 78" HGT AFF

**WALL SCONCE:**  OWNER  OWNER  E.C.  E.C.

MANUFACTURE: SOUTHERN LIGHTING SOURCE  
 MODEL: BESA DARCI SLS272607-GU24-BR W/LAMP  
 BULBS: (5) 120V, 40W, G9 HALOGEN BASE LAMPS  
 INCLUDED, CENTERED ON WALLS - 66" HGT AFF

**LAMINATED SOFFIT:**  CMF  CMF  G.C.  G.C.

DESCRIPTION: LAMINATED CEILING SOFFIT  
 SIZE: 88" x 120" x 4"  
 FINISH: FORMICA SPECTRUM RED  
 G.C. TO RELOCATE ANY EXISTING AIR VENTS OR LIGHTING,  
 OVER THE NEW LAMINATED SOFFIT

**WALL PAINT 1:**  G.C.  G.C.

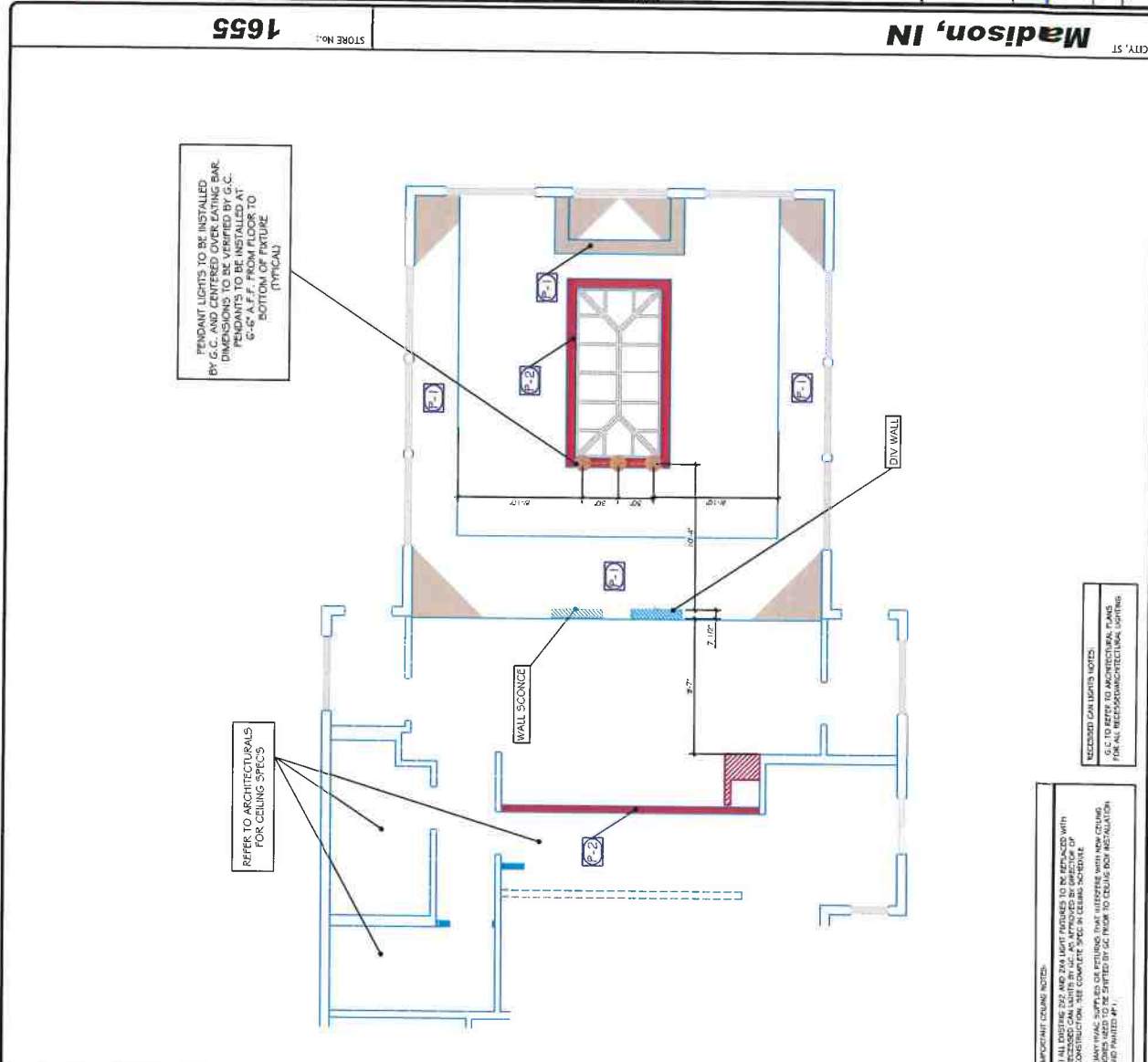
DESCRIPTION: (P1)  
 COLOR: SHERWIN WILLIAMS SW7038 'TONY TAUPE'

**WALL PAINT 2:**  G.C.  G.C.

DESCRIPTION: (P2)  
 COLOR: SHERWIN WILLIAMS SW6864 'CHERRY TOMATO'

**RECESSED CAN LIGHTS:**  OWNER  OWNER  G.C.  G.C.

MANUFACTURE: CREE  
 MODEL: CR61-925-27K-12-E25RC6-GU24 E26 ADAPTER  
 LAMP TYPE: LED ENGINE



256 Industrial Road - Newport, TN 37821

ADDRESS: 1221 City Drive  
Madison, IN

SCALE: 1/8" = 1'-0"

SHEET TITLE: REFLECTED CEILING PLAN

ACCOUNT: Arby's

DESIGN BY: Henry

DATE: 01/20/24

PROJECT NO.: RCP1\_04822

REVISION: SHEET NO.: 01 TO 10

REVISION: DATE BY

01 Move community top & products away from under the skylight 02/24 HR

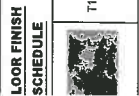
**IMPORTANT DRAWING NOTES:**

1) ALL LIGHTING FIXTURES AND DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS.

2) ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS.

3) ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS. ALL DIM LIGHT FIXTURES TO BE REPLACED WITH LED EQUIVALENTS.



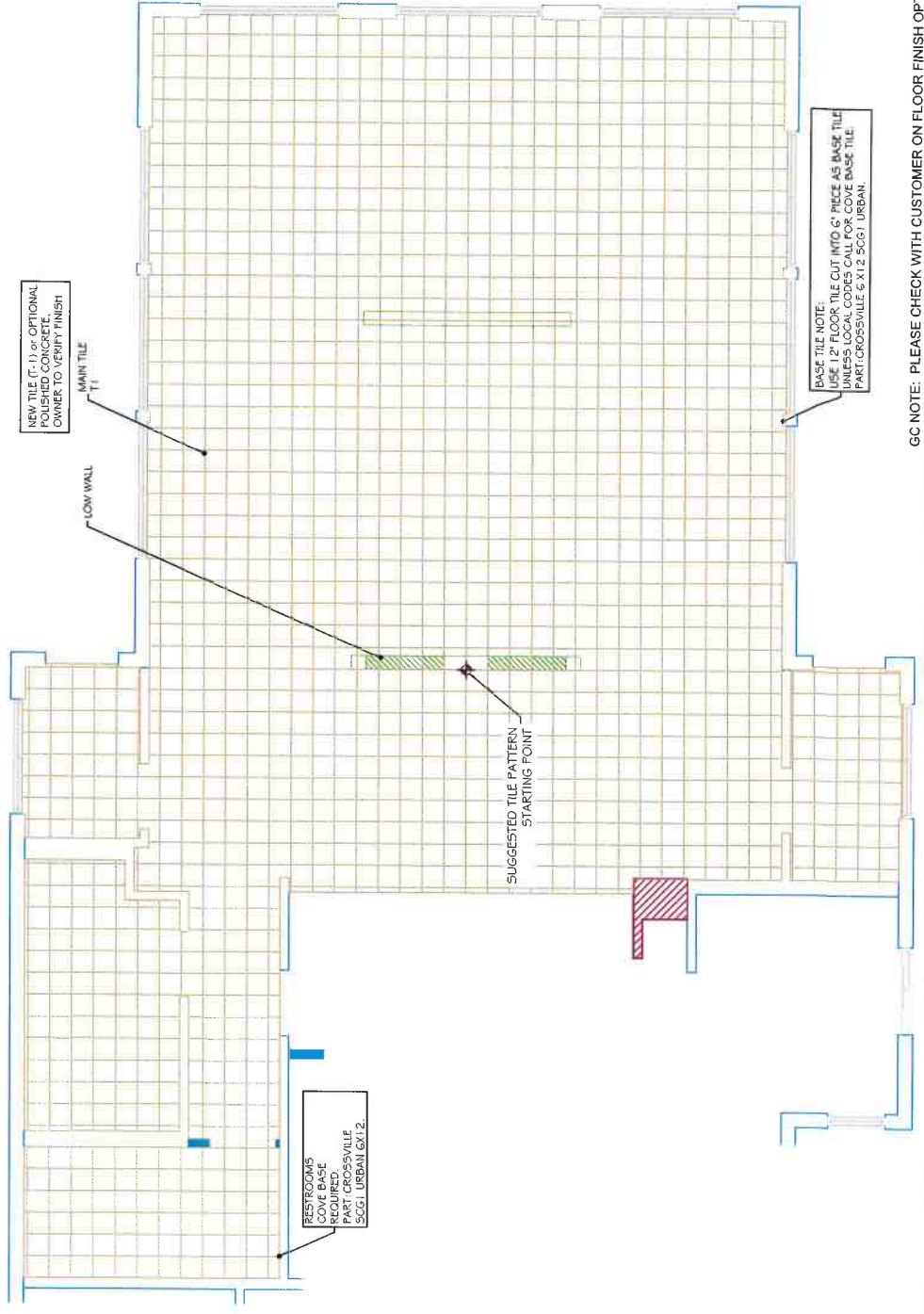


**FLOOR FINISH SCHEDULE**

**DINING ROOM FLOOR TILE:**  
 MAIN FLOOR TILE: CROSSVILLE (T1)  
 PATTERN: SCG1 URBAN  
 SIZE: 12" x 12"  
 1/8" WIDTH #60 CHARCOAL  
 BASE TILE: CROSSVILLE (T3) (SEE NOTES ON FTP1)  
 PATTERN: SCG1 URBAN  
 REQUIRE COVE BASE. SIZE: 12" x 6"  
 GROUT: CUSTOM BUILDING PRODUCTS  
 1/8" WIDTH #60 CHARCOAL

**FURNISHED BY**  
 G.C. \_\_\_\_\_  
 CONTACT:  
 MERIDITH LOCKER  
 678-527-8453

**IMPORTANT TILING NOTES:**  
 1) G.C. IS TO CONTACT REP LISTED ON SPECIFICATIONS PAGE PRIOR TO ORDERING ANY FLOOR OR WALL TILE. DO NOT PLACE ORDER THROUGH LOCAL DISTRIBUTOR BEFORE TALKING TO ARBY'S NATIONAL ACCOUNT REP.  
 2) ALL GROUT LINES TO BE STANDARD WIDTHS.



GC NOTE: PLEASE CHECK WITH CUSTOMER ON FLOOR FINISH OPTIONS.

	ACCOUNT: Arby's	1221 City Drive Madison, IN
	DESIGN BY: Henry	
DATE: 6/1 2/24	PROJECT NO.: FTP1_04822	REVISION
RESTROOM: 01	SHEET NO.: 11	REVISION O1 Move community top & products away from under the skylight GZ/2/24 HR DATE BY





BY	DATE	REVISION
HR	02/21/24	
1		More community top & perches away from under the skylight

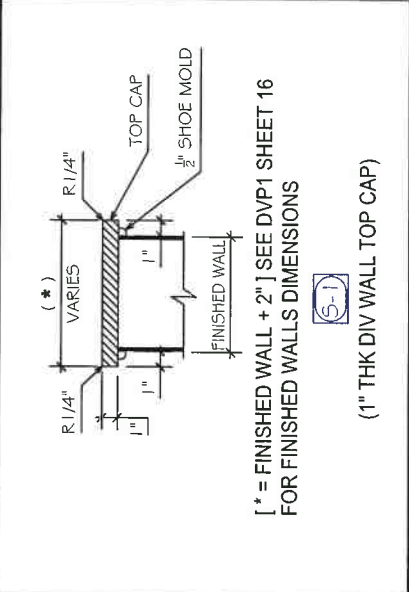
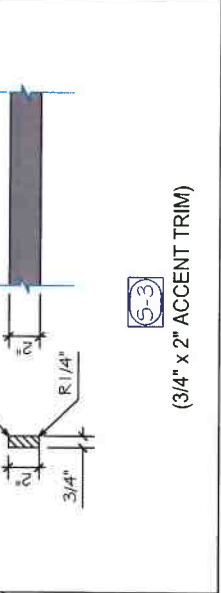
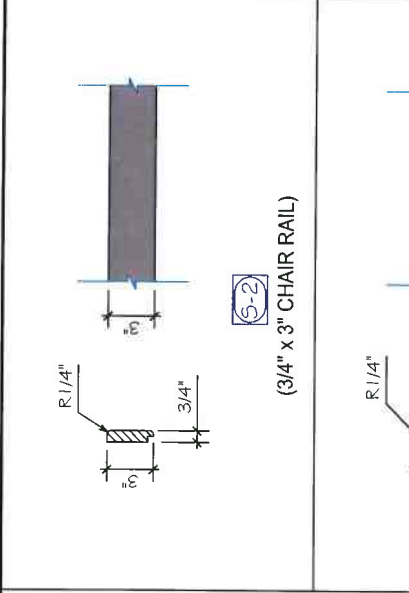
SCALE: 1/1/2" = 1'-0"  
 ADDRESS: 1221 City Drive  
 Madison, IN

**Arby's**

ACCOUNT: Arby's  
 DESIGN BY: Henry  
 DATE: 6/1/2024  
 PROJECT NO.: 01  
 SHEET NO.: 12  
 REVISION: 01

1655 STORE NO.

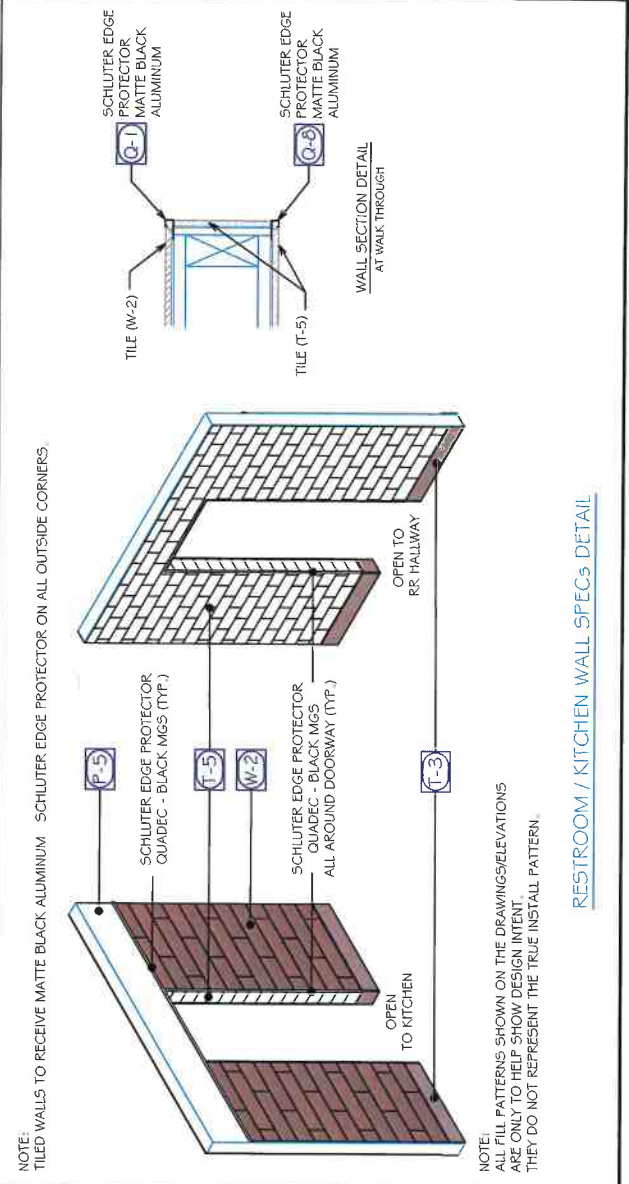
Madison, IN CTRY, ST



FOR SERVICE COUNTER DETAIL REFER TO ARCHITECTURAL PLANS OR "KES" SHOP DRAWINGS.

**FSC SECTION DETAIL**

- TRIM PACKAGE**
- OP CAP:** FURNISHED BY CMI, INSTALLED BY G.C.
  - DESCRIPTION: 1" X 9-1/2" WOOD PAINTED (S1)  
 NISH: SHERWIN WILLIAMS PEPPER CORN SW7674
  - HAIR RAIL:** FURNISHED BY CMI, INSTALLED BY G.C.
  - DESCRIPTION: 3/4" X 3" WOOD - WOOD PAINTED (S2)  
 NISH: SHERWIN WILLIAMS PEPPER CORN SW7674
  - ACCENT TRIM:** FURNISHED BY CMI, INSTALLED BY G.C.
  - DESCRIPTION: 3/4" X 2" WOOD PAINTED (S3)  
 NISH: SHERWIN WILLIAMS PEPPER CORN SW7674
  - TOE MOULD:** FURNISHED BY CMI, INSTALLED BY G.C.
  - DESCRIPTION: 3/8" X 1/2" OAK SHOE MOULDING (S1)  
 NISH: STAINED TO MATCH PIONITE WW011 KINGSLEY
  - SCHLUTER STRIP:** FURNISHED BY G.C., INSTALLED BY G.C.
  - DESCRIPTION: SCHLUTER SQUARE TILE EDGE PROTECTOR  
 QUADEC Q100MGS (8")  
 QUADEC Q80MGS (16")  
 NISH: MATTE BLACK (PAL 9011) COLOR-COATED ALUMINUM  
 C. TO CHOOSE SCHLUTER DEPENDING ON TILE THICKNESS  
 STALL QUESTIONS: WWW.YOUTUBE.COM/WATCH?v=KPO0MDPEGED



NOTE: TILED WALLS TO RECEIVE MATTE BLACK ALUMINUM SCHLUTER EDGE PROTECTOR ON ALL OUTSIDE CORNERS.

NOTE: ALL FILL PATTERNS SHOWN ON THE DRAWINGS/ELEVATIONS ARE ONLY TO HELP SHOW DESIGN INTENT. THEY DO NOT REPRESENT THE TRUE INSTALL PATTERN.

RESTROOM / KITCHEN WALL SPECS DETAIL

INSTALL QUESTIONS REFER TO:  
 WWW.YOUTUBE.COM/WATCH?v=KPO0MDPEGED

G.C. TO CHOOSE THE CORRECT SCHLUTER CORNER BASED ON TILE THICKNESS

CONTACT: JASON WEEKS • 678-687-7802

QUADEC Q100MGS (8")  
 QUADEC Q80MGS (16")

**DECOR SPECIFICATIONS**

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR ("GC") TO REVIEW ALL "GC" FINISHES AND DETAILS CONTAINED WITHIN THIS SET OF DECOR DRAWINGS WITH THE FINAL CUSTOMER. CMI HAS PROVIDED THE FINISH SCHEDULE AND DETAILS AS A SERVICE TO THE CUSTOMER, BUT WILL NOT BE HELD ACCOUNTABLE FOR ANY "GC" SUPPLIED AND INSTALLED ITEMS. THE "GC" SHOULD REVIEW THESE DRAWINGS WITH SAMPLE FINISHES THEY HAVE ACQUIRED FROM THEIR SUPPLIERS TO VERIFY THEY MEET THE CUSTOMER'S EXPECTATIONS. CMI WILL BE HAPPY TO ASSIST IN MAKING ANY CHANGES TO THE DRAWINGS/"GC" FINISH SPECIFICATIONS THAT ARE REQUIRED.

**FURNITURE FINISHES**

**TABLE TOPS:**  
 SERIES: LAMINATED  
 "TABLE A": PIONITE WX110 "SMOOTH PADDLIN"  
 EDGE: PLYWOOD  
 "TABLE B": WILSONART 7973K-12 "OLD MILL OAK"  
 EDGE: BROWN VINYL  
 NOTE: HANDICAP SYMBOL ON HANDICAP TABLES

**TABLE BASE:**  
 SERIES: STANDARD AND BAR HEIGHT FREESTANDING BASES  
 FINISH: BLACK

**CHAIRS (FREESTANDING):**  
 CHAIR SERIES: #809  
 FRAME FINISH: #8 QUICKSILVER  
 SEAT "A": UPHOLSTERY: ESP635 AMERICAN BEAUTY (U6)

**BARSTOOL (FREESTANDING):**  
 CHAIR SERIES: #809-30  
 FRAME FINISH: S-19, UPHOLSTERY: ESP635 AMERICAN BEAUTY (U6)

**BOOTH: ARBY'S 36" AFF**  
 SERIES: UPHOLSTERED BACK PAD & SEAT  
 BACK PAD PATTERN - STANDARD SIZE & WALL BENCHES  
 TOP CAP /SIDE PANEL: ARC-COM RODEO, AC-69953 "FIRE #14 (U4)  
 BACK PAD UPHOLSTERY:

UPHOLSTERY 4: ARC-COM RODEO, AC-69953 "FIRE #14 (U4)  
 UPHOLSTERY 5: ARC-COM RODEO, AC-69954 "RUBY #15 (U5)  
 UPHOLSTERY 6: ARC-COM RODEO, AC-69952 "UPSTICKS #13 (U6)  
 SEAT PAD FINISH: ARC-COM RODEO, AC-69984 "RHINO #45 (U3)  
 WELT: ARC-COM RODEO, AC-69984 "RHINO #45 (U3)  
 CRUMB RAIL: FORMICA 5864-58 CHESTNUT WOODLINE STRIPES TO BE TUFTED

**FURNITURE FINISHES CONTINUED**

**WASTE CABINETS:**  
 SERIES: TOP DROP ON FIS LEGS  
 TOP AND TRAY SHELF FINISH: CORIAN/GLACIER WHITE (C2)  
 TRAY STOPS AND TRASH CHUTE: STAINLESS STEEL  
 CABINET/DOOR: STAINLESS STEEL CONSTRUCTION W/LAMIN. OUTER PANELS  
 LAMINATED PANELS: NEVAMAR CHARCOAL ESSENCE ES6002 (L4)  
 LEGS: STAINLESS STEEL BULLET FEET

**BEVERAGE CABINET:**  
 SERIES: FREESTANDING ON LEGS  
 TOP /BACK SPLASH FINISH: CORIAN/ GLACIER WHITE (C2)  
 CABINET/DOOR: STAINLESS STEEL CONSTRUCTION W/LAMIN. OUTER PANELS  
 LAMINATED PANELS: NEVAMAR CHARCOAL ESSENCE ES6002 (L4)  
 LEGS: STAINLESS STEEL BULLET FEET

**SERVICE COUNTER TOP:**  
 COUNTER: CORIAN/ GLACIER WHITE (C2)

**SERVICE COUNTER FASCIA:**  
 CROSSVILLE TILE - COLOR BY NUMBERS W/12" TEA FOR TWO" GLOSS T-5

**DECOR DIVIDER WALL:**  
 DESCRIPTION: DIVIDER WALL w/BASE TILE  
 WALL FINISH: PORCELAIN TILE - KNOXWOOD NUTMEG (W2)  
 SIZE: 6" x 24" PLANKS - PATTERN: 1/3 OFFSET  
 - CORNERS: BLACK SCHLUTER EDGE PROTECTOR  
 TOP CAP: WOOD - PAINTED SW7674 PEPPERCORN (P8)  
 BASE TILE: 6" x 12" STONEPEAK - SIMPLY MODERN COFFEE (T1)  
 GROUT: CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**DIVIDER LOW WALL:**  
 DESCRIPTION: LOW WALL w/BASE TILE  
 WALL FINISH: PORCELAIN TILE - KNOXWOOD NUTMEG (W2)  
 SIZE: 6" x 24" PLANKS - PATTERN: 1/3 OFFSET  
 - CORNERS: BLACK SCHLUTER EDGE PROTECTOR  
 TOP CAP: WOOD - PAINTED SW7674 PEPPERCORN (P8) (931) 210-7093  
 BASE TILE: 6" x 12" STONEPEAK - SIMPLY MODERN COFFEE (T1)  
 GROUT: CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**PERIMETER DIVIDER LOW WALL:**  
 DESCRIPTION: NEW LOW WALL  
 TOP CAP: OAK WALLCAP (S1)  
 TOP CAP FINISH: WOOD - PAINTED SW7674 PEPPERCORN (P8)  
 WALL FINISH TILE: CROSSVILLE TILE - 12x12 V326 PAVEMENT (T-1)  
 WALL FINISH TILE SIZE: 12" x 12"  
 BASE TILE: CROSSVILLE TILE - COVE BASE 6x12 AV326 PAVEMENT (T-3)  
 BASE TILE SIZE: 6" x 12"  
 GROUT: CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**WALL FINISHES**

**BEVERAGE CABINET BACK WALL:**  
 DESCRIPTION: 4" x 8" CROSSVILLE TILE (F5)  
 PATTERN: COLOR BY NUMBERS W/02 TEA FOR TWO  
 GROUT: 1/8" WIDTH CUSTOM BUILDING PRODUCTS #60 CHARCOAL  
 VERTICAL METAL TRIM: 1" STAINLESS STEEL DIVIDER STRIP

**BEVERAGE CABINET SIDE WALL:**  
 DESCRIPTION: 6" x 24" PLANKS - PATTERN: 1/2 OFFSET  
 WALL FINISH: PORCELAIN TILE - KNOXWOOD NUTMEG (W2)  
 TRIM: BLACK SCHLUTER EDGE PROTECTOR  
 ABOVE PAINT: SHERWIN WILLIAMS SW6664 "CHERRY TOMATO"

**WALL PAINT 1:**  
 DESCRIPTION: (P1)  
 COLOR: SHERWIN WILLIAMS SW7038 "TONY TAUPE"

**WALL PAINT 2:**  
 DESCRIPTION: (P2)  
 COLOR: SHERWIN WILLIAMS SW6864 "CHERRY TOMATO"

**WALL PAINT 3:**  
 DESCRIPTION: (P3)  
 COLOR: SHERWIN WILLIAMS SW6083 "SABLE GLOSS"

**WALL PAINT 4:**  
 DESCRIPTION: (P4) (RESTROOM CEILING)  
 COLOR: SHERWIN WILLIAMS SW7005 PURE WHITE (IF NEEDED)

**WALL PAINT 5:**  
 DESCRIPTION: (P5)  
 COLOR: SHERWIN WILLIAMS SW7551 "GREEK VILLA" (SATIN FINISH)

**WALL PAINT 6:**  
 DESCRIPTION: (P6)  
 COLOR: SHERWIN WILLIAMS SW6988 "BOHEMIAN BLACK" (SATIN FINISH)

**WALL PAINT 7:**  
 DESCRIPTION: (P7)  
 COLOR: SHERWIN WILLIAMS SW6988 "BOHEMIAN BLACK" (SATIN FINISH)

**WALL PAINT 8:**  
 DESCRIPTION: (P8)  
 COLOR: SHERWIN WILLIAMS SW7674 "PEPPERCORN" LEVEL 4-5 FINISH



REVISION	DATE	BY
1	6/24/24	HR
Move community top & percents away from under the slabs		

**SHEET TITLE:** SPECIFICATIONS  
**SCALE:** N.T.S.  
**ADDRESS:** 1221 City Drive  
 Madison, IN

**Arby's**  
 ACCOUNT: Arby's  
 DESIGN BY: Henry  
 DATE: 6/12/24  
 PROJECT NO.:  
**SPECS1 04822**  
 REVISION: SHEET NO.: 01 | 13



255 Industrial Road - Newport, TN 37821

REVISION	DATE	BY		
01	6/24/24	HR		
Note: Community Top & Pencils away from under the skylight				

SHEET TITLE: SPECIFICATIONS  
 SCALE: N.T.S.  
 ADDRESS: 1221 City Drive  
 Madison, IN

ACCOUNT: Ardy's  
 DESIGN BY: Henry  
 DATE: 6/2/24  
 PROJECT NO.: SPEC52\_04822  
 REVISION: SHEET NO. 01 14

CITY, ST  
**Madison, IN**

STORE No.: **1655**

**INTERIOR FINISHES CONTINUED**

**WALL VINYL 3:**  
**ARTWORK THAT:**  
 DESCRIPTION: CUSTOM (V3)  
 VENDOR: APA GRAPHICS  
 PATTERN: CUSTOM 'CHALKBOARD VINTAGE ARBY'S'  
 COLOR: CUSTOM  
 WIDTH: 6'

**FURNISHED BY** OWNER **INSTALLED BY** G.C.  
 CONTACT: CHUCK BOGLE  
 404-355-1355  
 (205)

**WALL ART:**

DESCRIPTION: CNC CUT ALUMINUM, POWDER COATED  
 PATTERN: STACKED ANIMALS ART  
 VENDOR: APA GRAPHICS  
 ITEM: SAA2 SIZE: 29" X 46"

**FURNISHED BY** OWNER **INSTALLED BY** G.C.  
 CONTACT: CHUCK BOGLE  
 404-355-1355  
 (205)

**WALL SOLID WOOD BOARDS:**

DESCRIPTION: (W1)  
 APA GRAPHICS  
 PATTERN: CUSTOM/RANDOM STAIN  
 SIZE: 96" x 6" PLANKS

**FURNISHED BY** OWNER **INSTALLED BY** G.C.  
 CONTACT: CHUCK BOGLE  
 404-355-1355  
 (205)

**WALL TILE 1:**

DESCRIPTION: CROSSVILLE (T1)  
 PATTERN: SCG1 URBAN  
 SIZE: 12" x 12"  
 GROUT: 3/8" WIDTH CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**WALL TILE 2:**

DESCRIPTION: CROSSVILLE TILE (T5)  
 PATTERN: COLOR BY NUMBERS WT02 'TEA FOR TWO'  
 SIZE: 4" x 8"  
 GROUT: 3/8" WIDTH CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**INTERIOR FINISHES CONTINUED**

**INTERIOR DOOR FINISHES:**  
 DESCRIPTION: SOLID CORE DOOR (L3) & (P3)  
 FINISH: FORMICA 5884-58 'CHESTNUT WOODLINE'  
 DOOR FRAME: SHERWIN WILLIAMS SW6083 'SABLE' GLOSS  
 CORP OPTIONAL LAMINATE: FORMICA F0905-58 BLACK

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**WINDOW SILLS:**

RE-USE EXST. CORIAN IF POSSIBLE  
 IF NOT G.C. TO PROVIDE WOOD PAINTED  
 SHERWIN WILLIAMS PEPPERCORN SW7674 P-8  
**NOTE:**  
**ALL SILLS SHIP AT A STANDARD WIDTH OF 5". IF A CUSTOM WIDTH IS NEEDED, IT'S THE RESPONSIBILITY OF THE PROJECT MANAGER TO NOTIFY "KES" OF THE NEW WIDTH REQUIRED ( PRIOR TO CONSTRUCTION START).**

**FURNISHED BY** RES\* **INSTALLED BY** G.C.  
 CONTACT: CUSTOMER SERVICE  
 404-274-3047

**WALL/WINDOW TRIM:**

DESCRIPTION: WOOD PAINTED (S1)  
 DISTRIBUTOR: SHERWIN WILLIAMS  
 COLOR: SHERWIN WILLIAMS PEPPERCORN SW7674

**FURNISHED BY** CMI **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**TILE WORK**

**RESTROOM PARTITIONS:**  
 FINISH: FORMICA 5884-58 'CHESTNUT WOODLINE'  
 SIZE: 4" x 8" ( T-5) UP TO 7'-0"  
 PAINT P-2 TO CEILING  
 CEILING PAINT (P4)  
 COLOR: SHERWIN WILLIAMS SW7065 PURE WHITE (IF NEEDED)

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**DINING ROOM FLOOR TILE:**

MAIN FLOOR TILE: CROSSVILLE (T1)  
 PATTERN: SCG1 URBAN  
 SIZE: 12" x 12"  
 BASE TILE: CROSSVILLE (T3) ( SEE NOTES ON FTP1 )  
 BASE TILE: USE 12" FLOOR TILE CUT INTO 6" PIECE UNLESS LOCAL CODES REQUIRE COVE BASE. SIZE: 12" x 6"  
 GROUT: CUSTOM BUILDING PRODUCTS  
 3/8" WIDTH #60 CHARCOAL

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**INTERIOR FINISHES CONTINUED**

**RESTROOM FLOOR TILE:**  
 MAIN FLOOR TILE: CROSSVILLE (T1)  
 PATTERN: SCG1 URBAN  
 SIZE: 12" x 12"  
 BASE TILE: CROSSVILLE (T3)  
 PATTERN: SCG1 URBAN  
 COVE BASE: US6612C162  
 GROUT: 3/8" WIDTH CUSTOM BUILDING PRODUCTS #60 CHARCOAL

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**CEILING AND LIGHTING**

**HVAC, FLUORESCENT FIXTURES, THERMOSTATS AND EXIT SIGNS:**  
 UNLESS OTHERWISE SPECIFIED (SEE RCP) EXISTING TO REMAIN. PER THE STANDARD ARCHITECTURAL SPECIFICATIONS.

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**ACOUSTICAL CEILING TILE AND T-BAR GRID:**

MANUFACTURE: ARMSTRONG  
 MODEL: FINE FISURED 1728 WHITE  
 SIZE: 24" x 24" x 1/2" SQUARE EDGE  
 T-GRID: PRELUDE XL  
 FOR EXISTING CEILING & GRID. - PAINT: SW7005 PURE WHITE

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: LOUIS JOHN  
 877-276-7876

**RESTROOMS & SERVICE AREA CEILING:**

FINISH: GYP BOARD P-4 PURE WHITE. REFER TO ARCHITECTURAL DRAWINGS

**FURNISHED BY** G.C. **INSTALLED BY** G.C.  
 CONTACT: MERIDITH LOCKER  
 678-527-8453

**LIGHTING VENDORS:**

VILLA LIGHTING:  
 HERMITAGE LIGHTING:  
 DAVID JACKSON  
 LUCAS DEWULF  
 314-633-0473 WORK  
 615-843-3367 WORK  
 314-285-4450 MOBILE  
 lucas.dewulf@villalighting.com  
 dcardi@hlg.com

**FURNISHED BY** OWNER **INSTALLED BY** E.C.

**PENDANT LIGHT 2:**

MANUFACTURE: KITCHLER LIGHTING  
 MODEL: 78200 BRONZE  
 BULBS: (1) 100W (M) BULB NOT INCLUDED  
 CENTERED ABOVE TABLETOPS - 78" HGT AFF

**FURNISHED BY** OWNER **INSTALLED BY** E.C.

**WALL SCONCE:**

MANUFACTURE: SOUTHERN LIGHTING SOURCE  
 MODEL: BESA DARCI SL5272807-GU24-BR WILAMP  
 BULBS: (5) 120V, 40W, G8 HALOGEN BASE LAMPS  
 INCLUDED. CENTERED ON WALLS - 68" HGT AFF

**FURNISHED BY** OWNER **INSTALLED BY** E.C.

CONTINUE ON NEXT PAGE

**INTERIOR FINISHES CONTINUED**

**LAMINATED SOFFIT:** **DESCRIPTION:** LAMINATED CEILING SOFFIT  
**SIZE:** 68" x 120" x 4"  
**FINISH:** FORMICA SPECTRUM RED  
**G.C. TO RELOCATE ANY EXISTING AIR VENTS OR LIGHTING, OVER THE NEW LAMINATED SOFFIT**

**RECESSED CAN LIGHTS:**  
**MANUFACTURE:** CREE  
**MODEL:** CR61-825-27K-12-E26/RC6-GU24 E26 ADAPTER  
**LAMP TYPE:** LED ENGINE

**ARBY'S 'A' CAROUSEL CHANNEL LETTER LIGHT/ART:**  
**MANUFACTURE:** ALLEN INDUSTRIES  
**SIZE:** 60" x 57"W  
**CENTERED AT 60" AFF**

**TRIM PACKAGE**

**TOP CAP:**  
**DESCRIPTION:** 1" X 9-1/2" WOOD PAINTED (S1)  
**FINISH:** SHERWIN WILLIAMS PEPPERCORN SW7674

**CHAIR RAIL:**  
**DESCRIPTION:** 3" X 3" WOOD - WOOD PAINTED (S2)  
**FINISH:** SHERWIN WILLIAMS PEPPERCORN SW7674

**ACCENT TRIM:**  
**DESCRIPTION:** 3/4" X 2" WOOD PAINTED (S3)  
**FINISH:** SHERWIN WILLIAMS PEPPERCORN SW7674


**SHOE MOULD:**  
**DESCRIPTION:** 3/8" X 1/2" OAK SHOE MOULDING (S1)  
**FINISH:** STAINED TO MATCH PIONITE WW011 KINGSLEY

**SCHLUTER STRIP:**  
**DESCRIPTION:** SCHLUTER SQUARE TILE EDGE PROTECTOR  
**QUADEC Q100MGS (8')**  
**QUADEC Q80MGS (8')**  
**FINISH:** MATTE BLACK (RAL 9011) COLOR-COATED ALUMINUM  
**G.C. TO CHOOSE SCHLUTER DEPENDING ON TILE THICKNESS**  
**INSTALL QUESTIONS:** WWW.YOUTUBE.COM/MTCHRY4KPOUMDPGE0

**INTERIOR FINISHES CONTINUED**

**BRICK WALL VENEER OPTIONS:**  
**DESCRIPTION:** (BR-1) RED BRICK  
**MANUFACTURE:** BEST PANEL COMPANY - EVOLUTION BRICK  
**SERIES:** CAROLINA SERIES - STRAIGHT  
**COLOR:** WILLIAMSBURG STRAIGHT  
**GROUT:** CUSTOM BUILDING PRODUCTS, SANDED  
**COLOR:** BRIGHT WHITE # 381

**DESCRIPTION:** (BR-2) WHITE BRICK  
**MANUFACTURE:** BEST PANEL COMPANY - EVOLUTION BRICK  
**SERIES:** CAROLINA SERIES - STRAIGHT  
**COLOR:** WINTER STORM STRAIGHT  
**GROUT:** CUSTOM BUILDING PRODUCTS, SANDED  
**COLOR:** BRIGHT WHITE # 381



256 Industrial Road - Newport, TN 37821

REVISION


NO.	DATE	BY
01	6/24/24	HR

Move community top & products away from under the skylight

SHEET TITLE: SPECIFICATIONS

SCALE: N.T.S.

ADDRESS: 1221 City Drive  
Madison, IN



ACCOUNT: Arby's


DESIGN BY: Henry

DATE: 6/12/24

PROJECT NO.: SPECS2\_04822

REVISION: 01

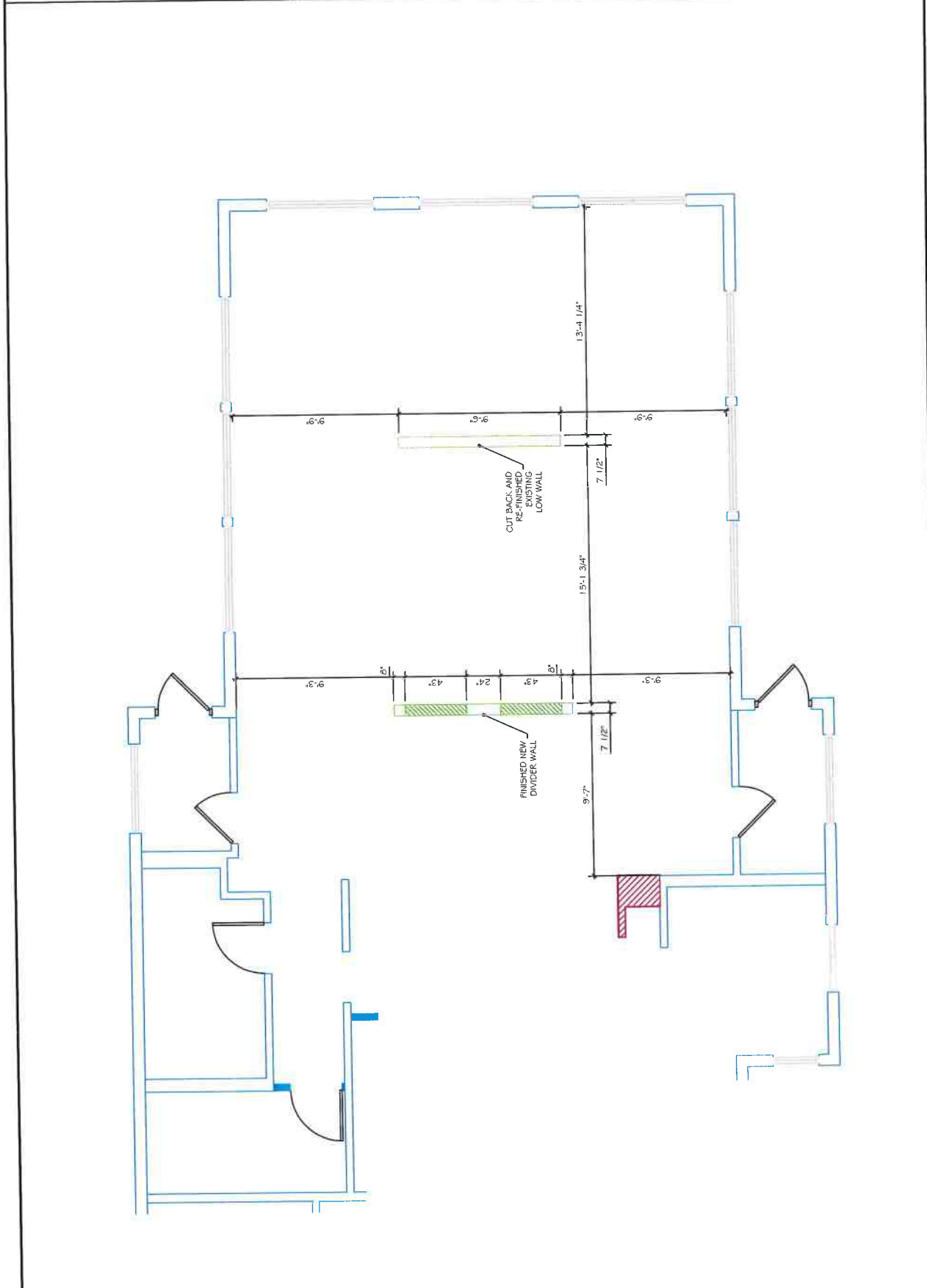
SHEET NO.: 15

 356 Industrial Road - Newport, TN 37221 Commercial Mfg. & Installation LLC	ADDRESS: Madison, IN 1221 City Drive	
	DIMENSION VERIFICATION PLAN SCALE: 3/16" = 1'-0"	
REVISION DATE BY	SHEET TITLE: DIMENSION VERIFICATION PLAN SCALE: 3/16" = 1'-0"	
REVISION DATE BY	SHEET TITLE: DIMENSION VERIFICATION PLAN SCALE: 3/16" = 1'-0"	



ACCOUNT: Arby's  
 DESIGN BY: Henry  
 DATE: 6/12/24  
 PROJECT NO.: DVP1\_04822  
 REVISION: 01 16

CITY, ST: Madison, IN  
 STORE NO.: 1655



1 2 3 4 5 6 7